

APRIL 10, 2024
Architectural Project #2303
TERRE HAUTE BOYS & GIRLS CLUB
RENOVATION

ADDENDUM NO. 1

PROJECT: Terre Haute Boys & Girls Club Renovation

THIS LETTER CONSTITUTES ADDENDUM NO.1

The information contained in this Addendum shall become a part of the basic plans and specifications, the same as is originally incorporated therein. The original plans and specifications shall remain in their entirety, except as modified by the Addendum. The items herein shall supersede information in each of the specifications and plans.

The proposed contract documents for this work are modified as follows:

- Item #1 Existing Reflected Ceiling Plan has been added to the Drawings. (See **Sheet D-2**)
- Item #2 100 square feet of Asbestos Floor Tile Removal to be included in base bid. Contractor to provide Unit Price per additional square foot of additional floor tile removal. (See revised **Bid Form.**)
- Item #3 2nd-3rd Power Hour Room cabinetry to be removed (See revised **Sheet D-1**)
- Item #4 Corridor water fountain to be removed/capped. (See revised **Sheet D-1**)
- Item #5 Dimensions regarding the walls being removed between classrooms have been revised on the Demolition Plan (See revised **Sheet D-1**)
- Item #6 Existing door hardware/keying manufacturer is Schlage. (See added note on **Sheet A-3.2**)
- Item #8 Moveable partition column foundation detail has been revised. (See revised **Sheet A-4.1**)
- Item #9 Cadets Room 123 & Juniors Room 128 flooring types have been revised on finish schedule matrix. (See revised **Sheet A-7.1**)
- Item #10 Floor Finish Plan has been revised. (See **Sheet A-7.1**)
- Item #11 Interior Finish Schedule has been revised. (See **Sheet A-7.1**)
- Item #12 Concrete topping for stage area ramp to be SikaQuick 1000. (See Specification **Section 03550 – Concrete Toppings**)

- Item #13 Paint colors have been selected and paint specifications revised. (See revised **Sheet A-7.1** and Specification **Section 09900 – Painting**)
- Item #14 Acoustic wall treatment notes have been added to interior elevations. (See revised **Sheets A-7.3 – A-7.7**)
- Item #15 Lockers will not be reused for breakroom – eliminated from Demolition Notes. (See revised **Sheet D-1 & Sheet A-7.3**)
- Item #16 All cabinetry is to be laminate. (See revised **Sheets A-7.1, A-7.2** and Specification **Section 06410 – Cabinetry**)
- Item #17 Countertop support bracket information has been added to Finish Schedule. (See revised **Sheet A-7.1**)

BID FORM ATTACHMENT

*TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE
TERRE HAUTE, IN 47803*

Bidding Contractors:

1. Pursuant to and in compliance with the invitation to bid and the proposed Contract Documents relating to Project, including any addenda, the undersigned, having become thoroughly familiar with the terms and conditions of the proposed Contract Documents and with the local conditions affecting the performance and costs of the work at the places where the work is to be completed, and having inspected the sites in all particulars, hereby purpuses and agrees to fully perform the work within the time stated and in strict accordance with the proposed Contract Documents, including furnishing any and all labor and materials, and to do all of the work required to construct and complete said work in accordance with the Contract Documents, for the following sum of money:
2. I understand that the Owner reserves the right to reject this bid, but that this bid shall remain open and not be withdrawn for a period of sixty days from the date prescribed for its opening.
3. If written notice of the acceptance of this bid is mailed or delivered to the undersigned within thirty days after the date set for the opening of this bid, or at any other time thereafter before it is withdrawn, the undersigned will execute and deliver the Contract Documents to the Architect in accordance with this bid as accepted, and will also furnish and deliver to the Architect, Proof of Insurance Coverage within seven days after personal delivery or after deposit in the mails of the notification of acceptance of this bid.
4. If awarded a contract under this proposal, the undersigned agrees to start work within seven (7) days of the contract signing, Notice of Acceptance, or request for additional information, may be addressed to the undersigned at the address set forth below:

ADDENDA CONFIRMATION

Bidder here with acknowledges receipt and has incorporated the provisions of the following addenda in this bid.

<u>Addendum Number</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

BID FORM

PROJECT: TERRE HAUTE BOYS & GIRLS CLUB RENOVATION

COMPLETE CONSTRUCTION BID (IN WRITING)

(IN FIGURES)

ALTERNATES:

**OMIT ALL STAGE/MULTI-PURPOSE ROOM MODIFICATIONS –
(DEDUCT)**

COMPLETE CONSTRUCTION BID (IN WRITING)

(IN FIGURES)

UNIT PRICES:

ASBESTOS FLOOR TILE REMOVAL PER SQUARE FOOT (ADD)

COMPLETE CONSTRUCTION BID (IN WRITING)

(IN FIGURES)

Date _____, 2024

(Firm Name)

Official Address:

By: _____

Title: _____

Phone: _____

PROJECT SPECIFICATIONS

DIVISION ONE - GENERAL REQUIREMENTS

- 01070 Cutting and Patching
- 01085 Applicable Standards
- 01300 Submittals and Substitutions and Shop Drawings
- 01485 Temporary Facilities and Controls
- 01500 Asbestos Removal
- 01710 Cleaning
- 01720 Project Record Documents

DIVISION TWO - SITE CONSTRUCTION

Not Used

DIVISION THREE - CONCRETE

- 03100 Concrete Formwork
- 03110 Concrete Work
- 03210 Steel Reinforcement for Concrete
- *03550 Concrete Toppings

DIVISION FOUR - MASONRY

- 04100 Mortar
- 04150 Masonry Accessories
- 04200 Unit Masonry

DIVISION FIVE - METAL

- 05200 Miscellaneous Metals
- 05400 Metal Framing

DIVISION SIX - WOOD AND PLASTIC

- 06001 Carpentry Work
- 06240 Laminated Plastic
- *06410 Cabinetwork

DIVISION SEVEN - THERMAL AND MOISTURE PROTECTION

- 07212 Insulation
- 07951 Sealants and Caulking

DIVISION EIGHT - DOORS AND WINDOWS

08110 Metal Doors
08111 Stock Hollow Metal Work
08210 Wood Doors
08531 Vinyl Windows
08710 Finish Hardware

DIVISION NINE - FINISHES

09260 Gypsum Wallboard
09510 Acoustical Ceiling
09660 Resilient Flooring
09680 Carpet
09775 Sanitary Wall Finish
*09900 Painting

DIVISION TEN - SPECIALITIES

10650 Operable Partitions

DIVISION ELEVEN - EQUIPMENT

DIVISION TWELVE - FURNISHINGS

DIVISION THIRTEEN - SPECIAL CONSTRUCTION

DIVISION FOURTEEN - CONVEYING SYSTEMS

DIVISION FIFTEEN - MECHANICAL

15400 Plumbing
15600 Heating, Ventilating and Air Conditioning

DIVISION SIXTEEN - ELECTRICAL

16001 Electrical

Drawings: Refer to Drawing T-1 for an index to drawings.

**SECTION 03550
CONCRETE TOPPINGS**

Part 1 – General

1.01 Summary

- A. This specification describes the patching or overlay of interior and/or exterior horizontal surfaces with a rapid setting, portland cement mortar/concrete.

1.02 Quality Assurance

- A. Manufacturing qualifications: The manufacturer of the specified product shall be ISO 9001 certified and have in existence a recognized ongoing quality assurance program independently audited on a regular basis.
- B. Contractor qualifications: Contractor shall be qualified in the field of concrete repair and protection with a successful track record of 5 years or more. Contractor shall maintain qualified personnel who have received product training by a manufacturer's representative
- C. Install materials in accordance with all safety and weather conditions required by manufacturer or as modified by applicable rules and regulations of local, state and federal authorities having jurisdiction. Consult Material Safety Data Sheets for complete handling recommendations.

1.03 Delivery, Storage, and Handling

- A. All materials must be delivered in original, unopened containers with the manufacturer's name, labels, product identification, and batch numbers. Damaged material must be removed from the site immediately.
- B. Store all materials off the ground and protect from rain, freezing or excessive heat until ready for use.
- C. Condition the specified product as recommended by the manufacturer.

1.04 Job Conditions

- A. Environmental Conditions: Do not apply material if it is raining or snowing or if such conditions appear to be imminent. Minimum application temperature 45°F (7°C) and rising.
- B. Protection: Precautions should be taken to avoid damage to any surface near the work zone due to mixing and handling of the specified material.

1.05 Submittals

- A. Submit two copies of manufacturer's literature, to include: Product Data Sheets, and appropriate Material Safety Data Sheets (MSDS).

1.06 Warranty

- A. Provide a written warranty from the manufacturer against defects of materials for a period of one (1) year, beginning with date of substantial completion of the project.

Part 2 - Products

2.01 Manufacturer

- A. **SikaQuick 1000**, as manufactured by Sika Corporation, is considered to conform to the requirements of this specification. Submit substitution requests to Project Architect.

2.02 Materials

- A. General

1. The material shall be a blend of selected portland cements, specially graded aggregates, admixtures for controlling setting time, water reducers for workability, and an organic accelerator.
 2. The materials shall be non-combustible, both before and after cure.
 3. The materials shall be supplied in a factory-blended bag.
 4. The rapid-setting cement mortar must be placeable from 1/4-in. to 1-in. in depth per lift for horizontal applications.
- B. To prepare a rapid-setting portland cement concrete: aggregate shall conform to ASTM C-33. The material shall be extended with 25-lb. of a 3/8 in. (No.8 distribution per ASTM C-33, Table II) clean, well-graded, saturated surface dry aggregate, having low absorption, high density and non-reactive (reference ASTM C1260, C227, C289). Aggregate must be approved for use by the Engineer.

2.03 Performance Criteria

- A. Typical Properties of the material:
1. Working Time: Approximately 30 minutes
 2. Color: concrete gray
- B. Typical Properties of the cured material (mortar):
1. Compressive Strength (ASTM C-109)
 - a. 3 hours: 1,250 psi (8.6 MPa)
 - b. 1 day: 4,000 psi min. (27.6 MPa)
 - d. 7 day: 5,000 psi min. (34.5 MPa)
 - f. 28 day: 7,000 psi min. (48.2 MPa)
 2. Flexural Strength (ASTM C-78) @ 28 days: 1,000 psi (6.9 MPa)
 3. Splitting Tensile Strength (ASTM C-496) @ 28 days 500 psi (3.4 MPa)
 4. Bond Strength (ASTM C-882 Modified) @ 28 days: 2,500 psi (17.2 MPa)
 5. The portland cement mortar shall not produce a vapor barrier.
 6. Density (wet mix): approximately 136 lbs. / cu. ft. (2.18 kg/l)
 7. Permeability (ASTM C-1202) @ 28 days Approximately <1000 Coulombs
 8. Drying Shrinkage, (ASTM C596) @ 28 days: 0.06%
 9. Freeze/Thaw resistance (ASTM C666) @ 28 days: 98%

Note: Tests above were performed with the material and curing conditions @ 71°F – 75°F and 45-55% relative humidity.

Part 3 – Execution

3.01 Surface Preparation

- A. Areas to be repaired must be clean, sound, and free of contaminants. All loose and deteriorated concrete shall be removed by mechanical means. Mechanically prepare the concrete substrate to obtain a surface profile of +/- 1/8” (CSP 6 or greater as per ICRI Guidelines) with a new exposed aggregate surface. Area to be patched shall not be less than 1/4” in depth.
- B. Where reinforcing steel with active corrosion is encountered, sandblast the steel to a white metal finish to remove all contaminants and rust. Where corrosion has occurred due to the presence of chlorides, the steel shall be high pressure washed after mechanical cleaning. Prime steel with 2 coats of Sika Armatec 110 EpoCem as directed by manufacturer. (See Spec Component SC-201-0699)

3.02 Mixing and Application

- A. Mechanically mix in appropriate sized mortar mixer or with a Sika jiffy paddle and low speed (400-600 rpm) drill. Pour approximately 5 pints of water into the mixing container. Add the powder while continuing to mix. Mix to a uniform consistency for a maximum of three minutes. Add up to another ½ pint of water to mix if a greater flow is desired. Should smaller quantities be needed, be sure the proper water/powder ratio is maintained and that the dry material is uniformly blended before mixing the

components together. Mix only that amount of material that can be placed in 30 minutes. Do not retemper material.

- B. Mixing of the rapid-setting portland cement concrete: Pour 5 to 5 1/2 pints of water into the mixing container. Add the powder while continuing to mix. Add correct amount of the pre-approved coarse aggregate, and continue mixing to a uniform consistency. Mixing time should be 3 minutes maximum.
- C. Placement Procedure: At the time of application, the substrate should be saturated surface dry with no standing water. Mortar and/or concrete must be scrubbed into substrate filling all pores and voids. While the scrub coat is still plastic, force material against edge of repair, working toward center. After filling, consolidate, then screed. Allow mortar or concrete to set to desired stiffness, then finish with a trowel for a smooth surface. Broom or burlap drag for rough surface. Areas where the depth of the repair is less than 1-inch shall be repaired with the neat rapid setting portland cement mortar. In areas where the depth of the repair is greater than 1 inch, the repair shall be made with the rapid-setting portland cement concrete.
- D. As per ACI recommendations for portland cement concrete, curing is required. Moist cure with wet burlap and polyethylene, a fine mist of water or a water-based* compatible curing compound. Moist curing should commence immediately after finishing and continue for 48 hours. Protect newly applied material from rain, sun, and wind until compressive strength is 70% of the 28-day compressive strength. To prevent from freezing cover with insulating material. Setting time is dependent on temperature and humidity.
*Pretesting of curing compound is recommended.
- E. Adhere to all procedures, limitations and cautions for this product in the manufacturers current printed technical data sheet and literature.

3.05 Cleaning

- A. The uncured material can be cleaned from tools with water. The cured cement mortar can only be removed mechanically.
- B. Leave finished work and work area in a neat, clean condition without evidence of spillovers onto adjacent areas.

Section 06410

CABINETWORK

PART ONE - GENERAL

1.01 DESCRIPTION

- A. Work included: Provide all cabinetwork shown on the Drawings, complete in place, as specified herein.

1.02 QUALITY ASSURANCE

- A. Standards: Comply with standards specified in the General Requirements of these Specifications.
- B. Qualifications of manufacturer: Products used in the work of this Section shall be produced by manufacturers regularly engaged in manufacture of similar items and with a history of successful production acceptable to the Architect.
- C. Qualifications of installers: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and methods needed for proper performance of the work of this Section.
- D. Certification: In addition to complying with all pertinent codes and regulations, comply with the Custom Grade Requirements for Construction and Joinery of the Architectural Woodwork Institute and provide certification on Shop Drawings.

1.03 SUBMITTALS

- A. General:
- (1) Comply with the general requirements of these specifications. Submit the following product data for approval after award of the contract.
 - (a) Manufacturer's specifications and other data to demonstrate compliance with these specifications.
 - (b) Samples of the full range of colors and patterns and of exposed accessories from proposed manufacturers.
 - (c) Manufacturer's recommended installation procedures, material list and shop drawings indicating seam locations and structure.
 - (2) The manufacturer's recommended installation procedures when accepted will be the basis for inspection and acceptance or rejection of work.

1.04 PRODUCT HANDLING

- A. Protection: Use all means necessary to protect materials of this Section before, during and after installation and to protect the installed work and materials of all other trades.
- B. Replacement: In the event of damage, immediately make all repairs and replacements necessary to the approval of the Architect and at no additional cost to the Owner.

PART TWO - PRODUCTS

2.01 CABINETS

- A. General: Fabricate and replace cabinet doors and drawers to the dimensions and arrangements shown on the Drawings, and according to the requirements of this Section.
- B. Products:
 - (1) Cabinet door fronts are to be as shown on drawings.
 - (2) Cabinet drawer fronts are to be as shown on drawings.

PART THREE - EXECUTION

3.01 FABRICATION

- A. Fabricate the work of this Section in strict accordance with the original design and the approved Shop Drawings.

3.02 INSTALLATION

- A. Inspection: Examine the areas and conditions under which work of this Section will be installed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions have been corrected.
- B. Installation: Install all components in strict accordance with the original design and the approved Shop Drawings anchoring all items firmly into position for long life under hard use.
- C. Any filler strips used in cabinet installation shall have the same finish as the cabinets. All cabinets shall be installed plumb and level and securely anchored. All hardware shall be properly adjusted. All shelving bear on all four bearing points. All exposed surfaces shall have the same finish as the front of the cabinets.

3.03 CLEANING AND ADJUSTMENT

- A. Upon completion of the installation, visually inspect each installed item, thoroughly clean all surfaces by using the cleaning materials recommended by the manufacturer of the finish being cleaned, and carefully adjust all operating components for optimum operation.

END OF SECTION
06410 - 3

Section 09900

PAINTING

PART ONE - GENERAL

1.01 DESCRIPTION

- A. Work included: Paint and finish all exposed surfaces in accordance with the types of finish shown on the Finish Schedule, in the Drawings and as specified herein.
- B. Related work described elsewhere: Priming or priming and finishing of certain surfaces are specified to be factory performed under pertinent other Sections.
- C. Work not included:
- (1) Do not include painting which is specified under other Sections.
 - (2) Unless otherwise indicated, painting is not required on surfaces in concealed areas and inaccessible areas such as furred spaces, foundation spaces, utility tunnels, pipe spaces, and duct shafts.
 - (3) Metal surfaces of anodized aluminum, stainless steel, chromium plate, copper, bronze, and similar finished materials will not require painting under this Section except as may be specified herein.
 - (4) Do not paint any moving parts of operating units; mechanical or electrical parts such as valve operators, linkages, sinkages, sensing devices, and motor shafts, unless otherwise indicated.
 - (5) Do not paint over any required labels or equipment identification, performance rating, name or nomenclature plates.
- D. Shop priming: Shop priming of ferrous metal items is included under the various sections for structural steel, miscellaneous metal, hollow metal work, and similar items. Also for fabricated components such as architectural woodwork, wood casework, and shop-fabricated or factory-built mechanical and electrical equipment or accessories.
- E. Definitions: The term "paint" as used herein, means all coating systems materials including primers, emulsions, epoxy, enamels, sealers, fillers, and other applied materials whether used as prime, intermediate, or finish coats.

1.02 QUALITY ASSURANCE

- A. In case the paint manufacturer's specifications or instructions differ from the above specifications, apply the more stringent requirements to this work. Color finishes on metal surfaces shall be warranted for a period of: 15 years against chipping, cracking, blistering and peeling and for 10 years against excessive chalking and fading. The finishes shall also meet ASTM D-659-44 No. 8 rating when applied to vertical walls, or in excess of ASTM D-659-44 No. 6 rating when applied to roof surfaces and against fading in excess of 5.0 NBS units.
- B. Qualifications of manufacturer: Products used in the work of this Section shall be produced by manufacturers regularly engaged in manufacture of similar items and with a history of successful production acceptable to the Architect.
- C. Qualifications of workmen:
- (1) Provide at least one person who shall be present at all times during execution of the work of this Section, who shall be thoroughly familiar with the specified requirements and the materials and methods needed for their execution, and who shall direct all work performed under this Section.
 - (2) Provide adequate numbers of workmen skilled in the necessary crafts and properly informed of the methods and materials to be used.
 - (3) In acceptance or rejection of the work of this Section, the Architect will make no allowance for lack of skill on the part of workmen.
- D. Paint coordination:
- (1) Provide finish coats which are compatible with the prime coats used.
 - (2) Review other Sections of these Specifications as required, verifying the prime coats to be used and assuring compatibility of the total coating system for the various substrata.
 - (3) Upon request, furnish information on the characteristics of the specific finish materials to ensure that compatible prime coats are used.
 - (4) Provide barrier coats over non-compatible primers, or remove the primer and re-prime as required.
 - (5) Notify the Owner in writing of anticipated problems in using the specified systems over prime coating supplied under other sections.

1.03 SUBMITTALS

- A. General: Comply with provisions of the General Requirements of these Specifications.
- B. Manufacturers' data: Within 7 calendar days after award of the Contract, submit:

- (1) Complete materials list of all items proposed to be furnished and installed under this Section.
 - (2) Manufacturer's specifications and other data required to demonstrate compliance with the specified requirements.
 - (3) For information only, submit two copies of manufacturer's specifications including paint analysis and application instructions for each material. Indicate in the transmittal that a copy of each manufacturer's instructions has been distributed to the applicator.
- C. Upon receipt of review comments, make all revisions and corrections, and resubmit if so required.

1.04 PRODUCT HANDLING

- A. Delivery of materials: Deliver all materials to the job site in original, new and unopened containers bearing the manufacturer's name and label showing the following information:
- (1) Name or title of the material;
 - (2) Fed. Spec. number, if applicable;
 - (3) Manufacturer's stock number;
 - (4) Manufacturer's name;
 - (5) Contents by volume for major constituents;
 - (6) Thinning instructions;
 - (7) Application instructions.
- B. Storage of materials: Provide proper storage to prevent damage to, and deterioration of, paint materials.
- C. Protection: Use all means necessary to protect the materials of this Section before, during and after installation and to protect the work and materials of all other trades.
- D. Replacements: In the event of damage; immediately make all repairs and replacements necessary to the approval of the Architect and at no additional cost to the Owner.

1.05 JOB CONDITIONS

- A. Surface temperatures: Do not apply solvent-thinned paint when the temperature of surfaces to be painted and the surrounding air temperature are below 45°F., unless otherwise permitted by the manufacturer's printed instructions as approved by the Architect.
- B. Weather conditions: Do not apply paint in snow, rain, fog, or mist, or when the relative humidity exceeds 85% or to damp or wet surfaces; unless otherwise permitted by the manufacturer's printed instructions as approved by the Architect. Applications may be continued during inclement weather within the temperature limits specified by the paint manufacturer during application and drying periods.

1.06 EXTRA STOCK

- A. Amount: Upon completion of the work of this Section, deliver to the Owner an extra stock equaling 10% of each color, type, and gloss of paint used on the work.
- B. Packaging: Tightly seal each container and clearly label with the contents and location used.

PART TWO - PRODUCTS

2.01 PAINT MATERIALS

- A. Paint products and materials shall be manufactured by Sherwin Williams, Pittsburgh Paint, and Porter Paints or equal products of other manufacturers must be approved by the Architect.
- B. General: Provide the best quality grade of the various types of coatings as regularly manufactured by paint materials manufacturers approved by the Architect. Materials not displaying the manufacturer's identification as a standard best-grade product will not be acceptable.
- C. Durability: Provide paints of durable and washable quality. Do not use paint materials which will not withstand normal washing as required to remove pencil marks, ink, ordinary soil, and similar material showing discoloration, loss of gloss, staining, or other damage.
- D. Colors and glosses: The Architect will select colors to be used in the various types of paint specified and will be the sole judge of acceptability of the various glosses obtained from the materials proposed to be used in the work.
- E. Undercoats and thinners: Provide undercoat paint produced by the same manufacturer as the finish coat. Use only the thinners recommended by the paint manufacturer, and use only the recommended limits. Insofar as practicable, use undercoat, finish coat, and thinner material as parts of a unified system of paint finish.

- F. Standards: Provide paint materials which meet or exceed the standards listed for each application in the Painting Schedule in Part Three of this Section.

2.02 APPLICATION EQUIPMENT

- A. General: For application of the approved paint, use only such equipment as is recommended for application of the particular paint by the manufacturer of the particular paint, and as approved by the Architect.
- B. Compatibility: Prior to actual use of application equipment, use all means necessary to verify that the proposed equipment is actually compatible with the material to be applied and that the integrity of the finish will not be jeopardized by use of the proposed application equipment.
- C. Other materials: All other materials, not specifically described but required for a complete and proper installation of the work of this Section, shall be new, first-quality of their respective kinds, and as selected by the Contractor subject to the approval of the Architect.

PART THREE - EXECUTION

3.01 SURFACE CONDITIONS

- A. Inspection: Prior to installation of the work of this Section, carefully inspect the installed work of all other trades and verify that all such work is complete to the point where this installation may properly commence. Verify that painting may be completed in strict accordance with the original design and with the manufacturer's recommendations as approved by the Architect.
- B. Discrepancies: Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved.

3.02 MATERIALS PREPARATION

- A. Mix and prepare painting materials in strict accordance with the manufacturer's recommendations as approved by the Owner.
- B. Store materials not in actual use in tightly covered containers.
- C. Maintain containers used in storage, mixing, and application of paint in a clean condition, free from foreign materials and residue.
- D. Stirring: Stir all materials before application to produce a mixture of uniform density, and as required during the application of materials. Do not stir into the material any film which may form on the surface. Remove this film and, if necessary, strain the material before using.

3.03 SURFACE PREPARATION

A. General:

- (1) Perform all preparation and cleaning procedures in strict accordance with the paint manufacturer's recommendations as approved by the Architect.
- (2) Removal all removable items which are in place and are not scheduled to receive paint finish, or provide surface-applied protection prior to surface preparation and painting operations.
- (3) Following completion of painting in each space or area, reinstall the removed items by using workmen skilled in the necessary trades.
- (4) Clean each surface to be painted prior to applying paint or surface treatment.
- (5) Removal all oil and grease with clean cloths and cleaning solvents of low toxicity and a flash point in excess of 30°C. (100 degrees F.), prior to start of mechanical cleaning.
- (6) Schedule the cleaning and painting so that dust and other contaminants from the cleaning process will not fall into wet, newly painted surfaces.

B. Preparation of wood surfaces:

- (1) Clean all surfaces until they are completely free from dirt, oil, and grease.
- (2) Smooth all finished wood surfaces exposed to view, using the proper sandpaper. Where so required, use varying degrees of coarseness in sandpaper to produce a uniformly smooth and unmarred wood surface.
- (3) Unless specifically approved by the Owner, do not proceed with painting of wood surfaces until the moisture content of the wood is 12% or less as measured by a moisture-meter approved by the Architect.

C. Preparation of metal surfaces:

- (1) Thoroughly clean all surfaces until they are completely free form dirt, oil and grease.
- (2) On galvanized surfaces, use solvent for the initial cleaning and then treat the surface thoroughly with phosphoric acid etch. Removal all etching solution before proceeding.
- (3) Allow to dry thoroughly before application of paint.

D. Preparation of concrete surfaces:

- (1) Remove all curing compounds and efflorescence from concrete and masonry surfaces and roughen as required to provide good adhesion of paints. If washing of the surface of masonry is required, use trisodium phosphate solution followed by clean water rinse. Fill all minor holes and grind off projection to produce a uniform surface.

3.04 PAINT APPLICATION

A. General:

- (1) Slightly vary the color of succeeding coats. Do not apply additional coats until the complete coat has been inspected and approved by the Architect. Only the inspection and approved coats of paint will be considered in determining the number of coats applied.
- (2) Sand and dust between enamel coats to remove all defects visible to the unaided eye from a distance of five feet.

B. Drying:

- (1) Allow sufficient drying time between coats. Modify the period as recommended by the material manufacturer to suit adverse weather conditions.
- (2) Oil-base and oleo-resinous solvent-type paints shall be considered dry for recoating when the paint feels firm, does not deform or feel sticky under moderate pressure of the thumb, and the application of another coat of paint does not cause lifting or loss of adhesion of the undercoat.

C. Brush application: Brush out and work all brush coats onto the surface in an even film. Cloudiness, spotting, holidays, laps, brush marks, runs, sags, ropiness, and other surface imperfections will not be acceptable.

D. Spray application:

- (1) Confine spray application to metal framework and similar surfaces where hand brush work would be inferior.
- (2) Wherever spray application is used, apply each coat to provide the equivalent hiding of brush applied coats. Do not double back with spray equipment for the purpose of building up film thickness of two coats in one pass.

E. Completed work shall match the approved color charts and manufacturer's specifications for color, texture, and coverage. Remove, refinish, or repaint all work not in compliance with specified requirements.

3.05 PAINTING SCHEDULE

A. General:

- (1) Colors shall be standard colors provided by the specified manufacturers and as shown on the Drawings or as directed by the Architect.
- (2) Local and National V.O.C. (Volatile Organic Compound) regulations are constantly changing; consult with manufacturer representatives before finalizing the selection.

B. Interior Glazed Block and Ceramic Tile Walls

- (1) Pretreatment/Surface Preparation: After removing all surface contamination by washing, the glazed tile/block surface should be abraded/scuff sanded/sand blasted to create a dull surface profile. Etching Creams designed to be used on glazed and ceramic tile may also be used to create a dull surface profile.
- (2) Prime Coat: **B51W01150 EXTREME BOND Interior/Exterior Bonding Primer**
- (3) Two Finish Coats (single component vinyl acrylic wall paint): **B30W12651 ProMar 200 Zero VOC Interior Latex Flat** or **B20W12651 ProMar 200 Zero VOC Interior Latex Eg-Shel**

OR

(Single Component Waterbased PreCatalyzed Epoxy): **K45W2151 Pro Industrial PreCatalyzed Waterbased Epoxy - Eg-Shel** or **K46W2151 Pro Industrial PreCatalyzed Waterbased Epoxy - Semi-Gloss** tinted to the choice of color.

C. Interior Previously Painted CMU Walls

- (1) Prime Coat/Spot Prime Coat:(bare CMU areas only): **B25W25 PrepRite Block Filler**
- (2) Two Finish Coats: **K45W2151 Pro Industrial PreCatalyzed Waterbased Epoxy – Eg-Shel** or **K46W2151 Pro Industrail PreCatalyzed Waterbased Epoxy – Semi-Gloss**

Notes: 1. Wash/clean all surfaces to be painted to remove all dirt, grease, chalk, loose paint and surface contaminates. All surface preparation and product application must be in accordance with all local, state and federal regulations.

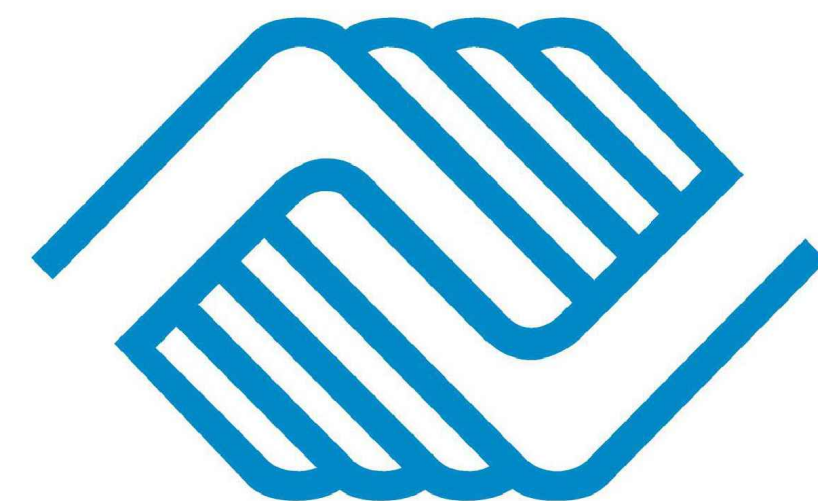
2. Where a sheen is present on the existing coating, sand the existing paint finish to create a surface profile so the new coating can obtain proper mechanical adhesion.

- 3. If the surfaces to be painted are heavily contaminated with grease or oil, clean the highly contaminated areas with Great Lakes Laboratories Extra Muscle Prepaint Cleaner.*
- 4. On ferrous metal surfaces remove all loose existing paint and corrosion by using SSPC-SP2 Hand Tool Cleaning and SSPC-SP3 Power Tool Cleaning.*
- 5. Follow all instructions on the Product Data Sheet and Product Label.*
- 6. Mock up samples should be applied before the start of the project to insure the acceptable and successful installation technique. Successful mock up samples will also help insure the compatibility of the new coatings with the previously painted surfaces. Acceptable mock up samples can then be approved by the owner/design professional before the start of the project.*
- 7. Please contact a local Sherwin-Williams Commercial Representative to assist with the application of the mock up samples if needed.*

END OF SECTION

TERRE HAUTE BOYS & GIRLS CLUB RENOVATION

55 SOUTH BROWN AVENUE
TERRE HAUTE, INDIANA



**TERRE HAUTE
BOYS & GIRLS CLUB**

TERRE HAUTE BOYS & GIRLS CLUB

BOBBY MOORE, CHIEF EXECUTIVE OFFICER

BOARD OF DIRECTORS

DAVE FRIEDRICH, PRESIDENT



SANDERS & ASSOCIATES INC.

AMANDA JUKES, ARCHITECT

ARCHITECTURAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA STATE BUILDING COMMISSION AND ALL OTHER APPLICABLE STATE AND LOCAL RULES AND REGULATIONS. THE CONTRACTOR AND SUB CONTRACTORS SHALL PERFORM THEIR WORK IN SUCH A MANNER AS TO BE IN COMPLIANCE WITH ALL APPLICABLE RULES AND SHALL BRING ANY DISCREPANCIES OR CONFLICTS TO ANY RULES, PLANS, OR SPECIFICATIONS TO THE ATTENTION OF THE ARCHITECT.
2. DIMENSIONS ARE FROM FACE OF MASONRY OR STUDS TO THE FACE OF MASONRY OR STUDS. USE THE STRUCTURAL DIMENSIONS WHERE POSSIBLE. DO NOT SCALE THE DRAWINGS.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE AND LOCAL CODES AND THE PROTECTION OF PUBLIC STRUCTURES AND RIGHT OF WAYS. THE CONTRACTOR SHALL ALSO OBTAIN ALL LOCAL CONSTRUCTION & CONNECTION PERMITS THAT MAY BE REQUIRED FOR THE WORK.
4. THE CONTRACTOR IS TO VERIFY AND CHECK ALL DIMENSIONS, THE DRAWINGS AND SPECIFICATIONS BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES OR ERRORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. ALL DRAWINGS, SPECIFICATIONS AND INFORMATION PREPARED BY SANDERS & ASSOCIATES, INC. (S&A, INC.) FOR THIS PROJECT ARE INSTRUMENTS OF SERVICE TO BE USED ONLY ON THIS PROJECT UNLESS OTHERWISE AUTHORIZED BY S&A, INC. ALL COMMON LAW, STATUTORY, COPYRIGHTS, AND OTHER RESERVED RIGHTS ARE TO BE RETAINED BY S&A, INC. FOR PROJECT DESIGN AND AS AUTHOR OF THESE DOCUMENTS. THE PROJECT OWNER MAY RETAIN COPIES OF S&A, INC. DRAWINGS FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE OWNER'S USE AND OCCUPANCY OF THE PROJECT.
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INDEX TO DRAWINGS :

T-1	TITLE SHEET	↑
SP-1	EXISTING SITE PLAN	
SP-2	NEW SITE PLAN	
LS-1	LIFE SAFETY PLAN	
D-1	EXISTING/DEMO PLAN	↑
D-2	EXISTING CEILING PLAN	↑
A-1	RENOVATION PLAN	
A-2.1	STAGE PLAN & RAMP DETAILS	
A-2.2	OFFICE & TEEN ROOM PLANS	↑
A-2.3	CLASSROOM PLANS	
A-3.1	EXTERIOR ELEVATIONS & WINDOW DETAILS	
A-3.2	DOOR SCHEDULE & DETAILS	↑
A-4.1	CLASSROOM SECTIONS	↑
A-4.2	STAGE SECTIONS	
A-5	ROOF FRAMING PLAN	
A-6	REFLECTED CEILING PLAN	
A-7.1	INTERIORS SCHEDULE & FINISH PLAN	↑
A-7.2	TYP. INTERIOR ELEVATIONS	↑
A-7.3	TEEN & OFFICE INTERIOR ELEVATIONS	↑
A-7.4	SMART ROOM INTERIOR ELEVATIONS	↑
A-7.5	CADETS ROOM INTERIOR ELEVATIONS	↑
A-7.6	STEAM ROOM INTERIOR ELEVATIONS	↑
A-7.7	JUNIORS ROOM INTERIOR ELEVATIONS	↑
E-1	ELECTRICAL PLAN	
E-2	LIGHTING PLAN	
E-3	PANEL LAYOUTS	
M-1	MECHANICAL PLAN	
P-1	SANITARY PLAN & FIXTURE SCHEDULE	
P-2	SUPPLY & ENLARGED PLANS	

SYMBOLS

	CONCRETE		TEST BORING
	CONCRETE BLOCK		DOORS
	BRICK		WINDOWS
	WOOD CROSS SECTION		WALL TYPES
	WOOD		REINFORCING BLOCKING IN WALLS 2 X 6'S OR LARGER
	STEEL		ELEVATION NO. ELEVATION
	RIGID INSULATION		DETAIL NO. DETAIL
	BATT INSULATION		SECTION NUMBER SHEET WHERE SECTION CAN BE FOUND
	GRAVEL FILL		ELEVATION NO. SHEET NO.
	EARTH		ELEVATION LINE
			REVISIONS

BUILDING CODE SUMMARY

2012 INTERNATIONAL BUILDING CODE, AS AMENDED BY THE STATE OF INDIANA (APPLICABLE RULES ONLY)

BUILDING TYPE: II-A (NON-COMBUSTIBLE, PROTECTED)

OCCUPANCY TYPE: E (EDUCATION/DAYCARE)

FIRE & SMOKE ALARM SYSTEM TO MEET CURRENT STANDARDS PER NFPA

*BUILDING IS FULLY SPRINKLERED.
*SPRINKLER MODIFICATION DRAWINGS BY OTHERS.

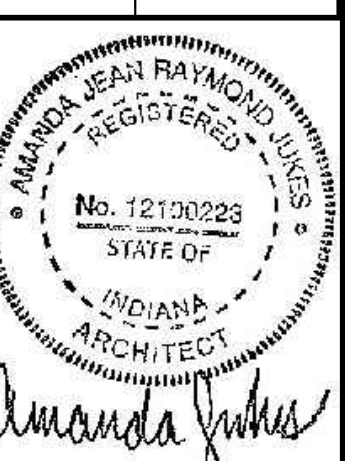
EXISTING : 53,465 SQFT
RENOVATION: 13,530 SQFT

PER TABLE 503 ALLOWABLE AREA: 26,500 SQFT. + AREA MODIFICATIONS

AREA MODIFICATION INCREASE: 46,375 SQFT
 $A_a = [A_i + (A_r \times I_i) + (A_i \times I_r)]$
 $A_a = [26,500 + (26,500 \times .75) + (26,500 \times 1)]$

FRONTAGE INCREASE: .75
 $I_r = [F/P - 0.25] W/30$
 $I_r = [1895/1895 - 0.25] 30/30$

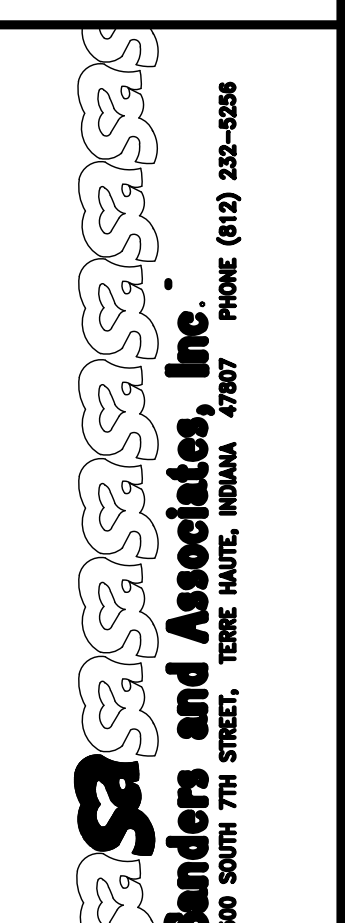
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NO.	DATE
1	4/10/24



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A. JUKES

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AJ / DC

CHECKED BY
DS / AJ



PROJECT
**TERRE HAUTE BOYS & GIRLS
CLUB RENOVATION**
55 SOUTH BROWN AVENUE

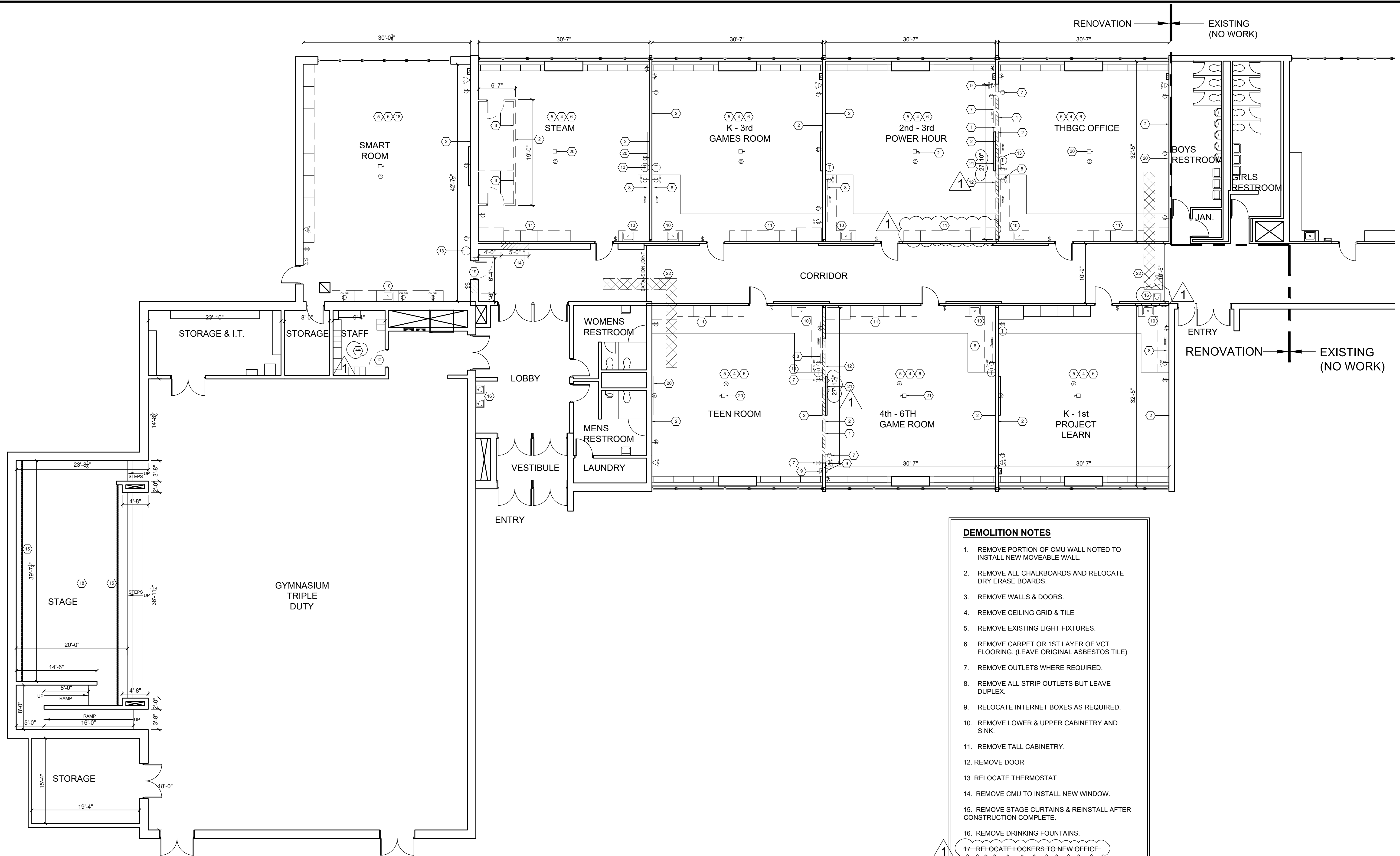
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03/25/2024

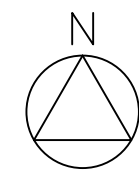
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SEE SHEET

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

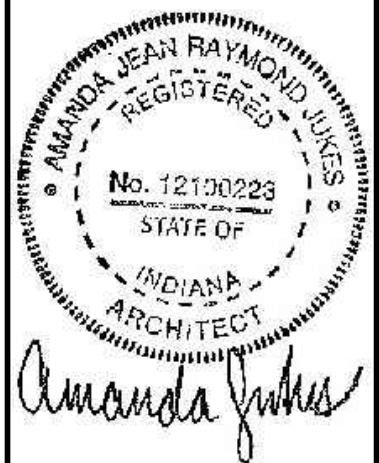


1 EXISTING/ DEMOLITION FLOOR PLAN
 SCALE: 1/8" = 1'-0"



- DEMOLITION NOTES**
1. REMOVE PORTION OF CMU WALL NOTED TO INSTALL NEW MOVEABLE WALL.
 2. REMOVE ALL CHALKBOARDS AND RELOCATE DRY ERASE BOARDS.
 3. REMOVE WALLS & DOORS.
 4. REMOVE CEILING GRID & TILE
 5. REMOVE EXISTING LIGHT FIXTURES.
 6. REMOVE CARPET OR 1ST LAYER OF VCT FLOORING. (LEAVE ORIGINAL ASBESTOS TILE)
 7. REMOVE OUTLETS WHERE REQUIRED.
 8. REMOVE ALL STRIP OUTLETS BUT LEAVE DUPLEX.
 9. RELOCATE INTERNET BOXES AS REQUIRED.
 10. REMOVE LOWER & UPPER CABINERY AND SINK.
 11. REMOVE TALL CABINERY.
 12. REMOVE DOOR
 13. RELOCATE THERMOSTAT.
 14. REMOVE CMU TO INSTALL NEW WINDOW.
 15. REMOVE STAGE CURTAINS & REINSTALL AFTER CONSTRUCTION COMPLETE.
 16. REMOVE DRINKING FOUNTAINS.
 17. RELOCATE LOCKERS TO NEW OFFICE.
 18. MODIFY CEILING TILE & GRID.
 19. REMOVE CMU & DOOR TO INSTALL NEW CASED OPENING.
 20. REMOVE OVERHEAD PROJECTOR AND SCREEN.
 21. ROTATE PROJECTOR 180° AND RELOCATE SCREEN.
 22. CUT FLOOR TO INSTALL NEW SANITARY PIPE. REMOVE AREA OF ASBESTOS FLOORING PRIOR TO SAW CUTTING.

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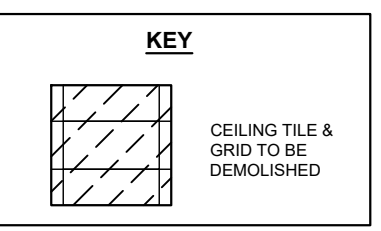
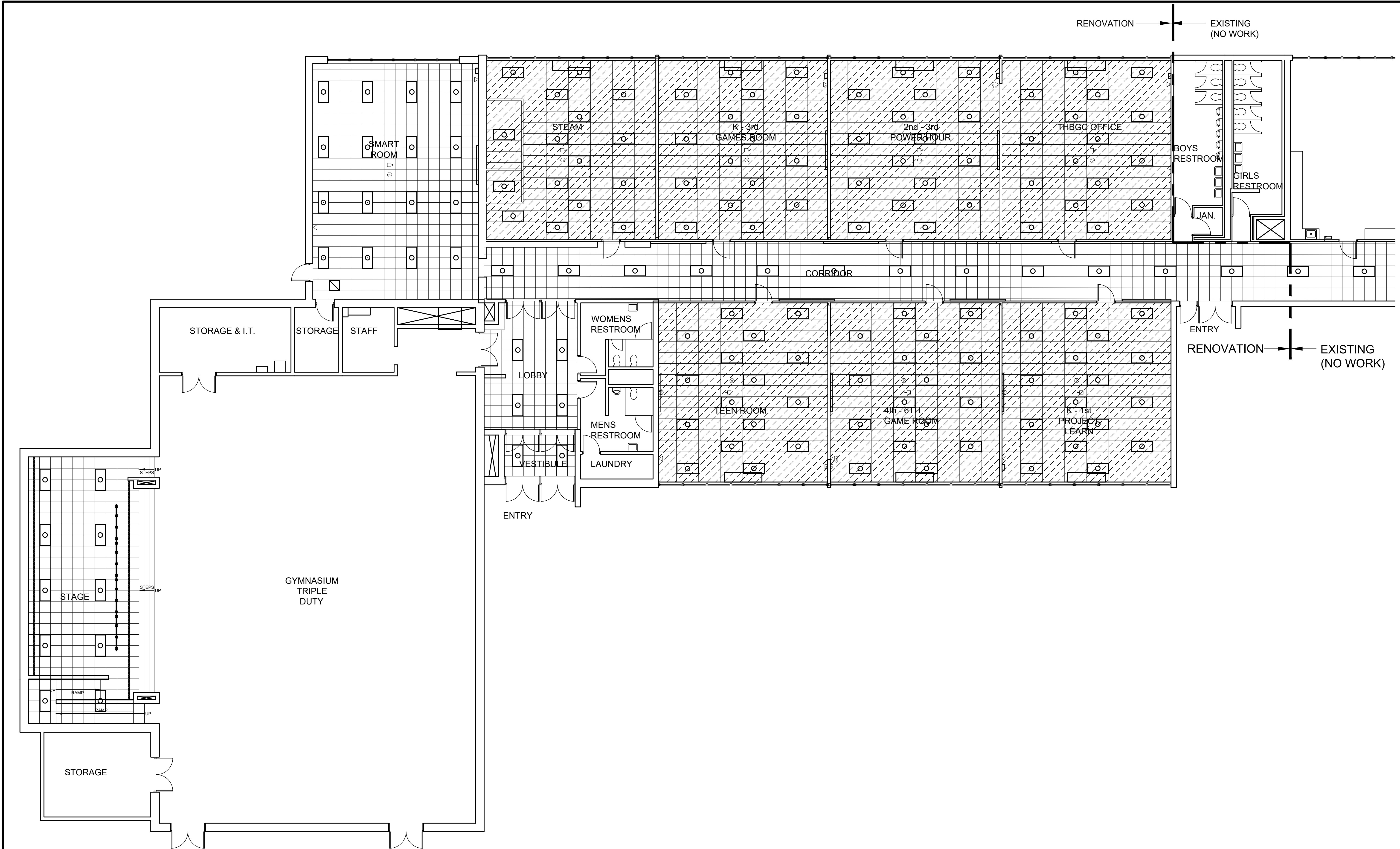


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 DRAWN BY
AJ / DC
 CHECKED BY
DS / AJ

Sanders and Associates, Inc.
 500 SOUTH 7TH STREET, TERRE HAUTE, INDIANA 47607 PHONE (812) 232-0505

PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

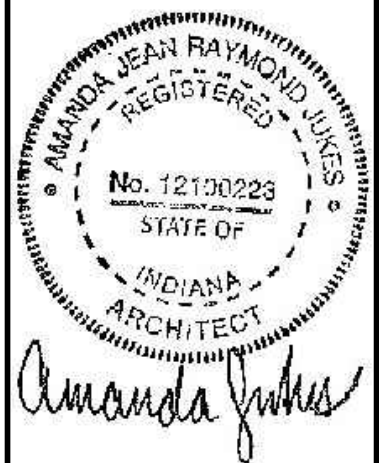
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SHEET TITLE	EXISTING/ DEMOLITION FLOOR PLAN
SHEET NUMBER	D-1



EXISTING/ DEMOLITION REFLECTED CEILING PLAN

1 D-2 SCALE: 1/8" = 1'-0"

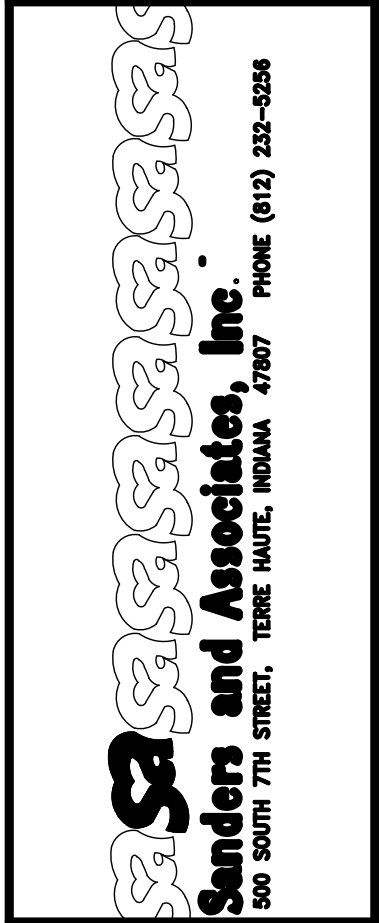
REVISIONS	
NO.	DATE
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PROJECT
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55 SOUTH BROWN AVENUE

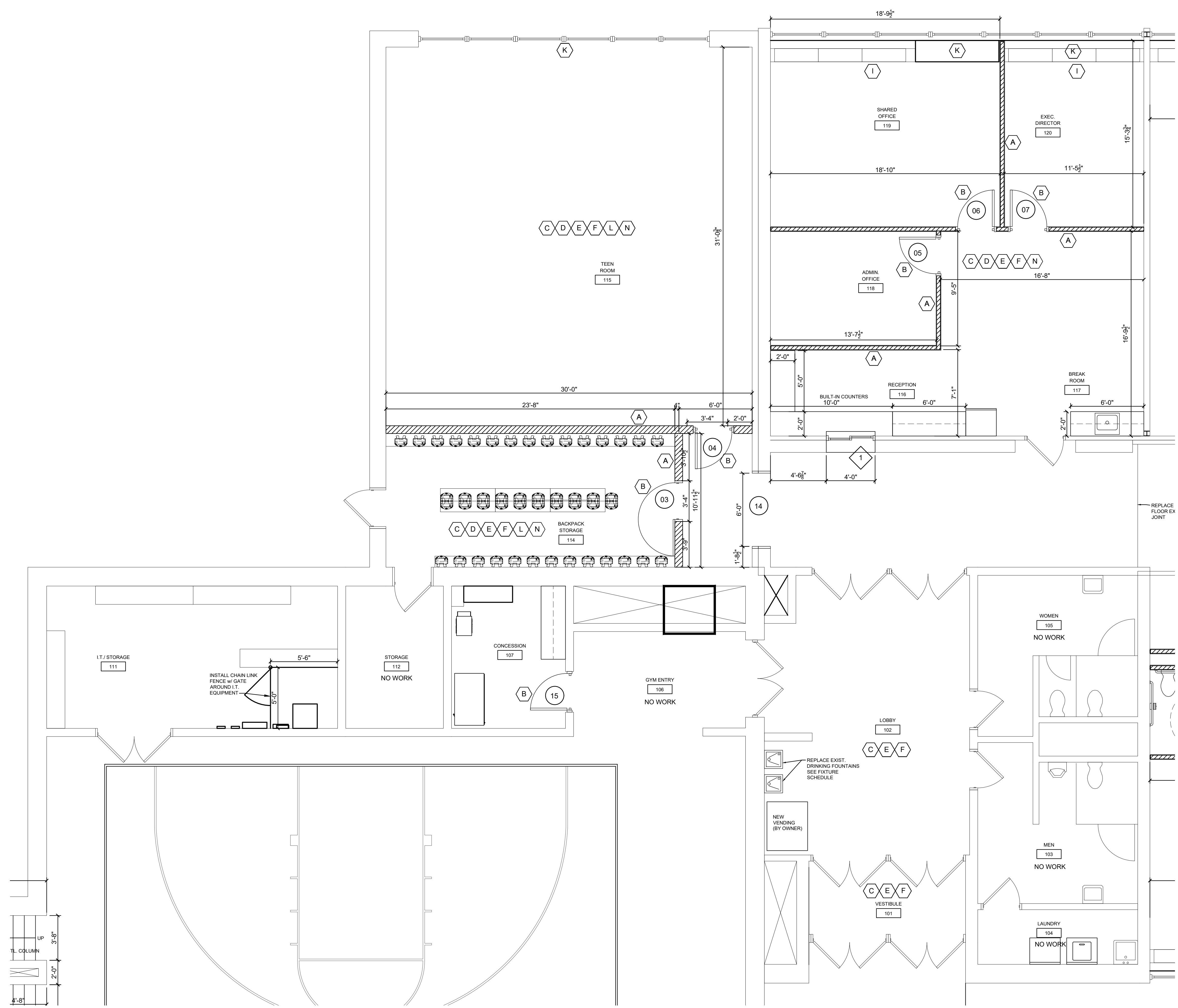
JOB NUMBER
2303

DATE
03/25/2024

SCALE
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SHEET TITLE
EXISTING/ DEMOLITION REFLECTED CEILING PLAN

SHEET NUMBER
D-2

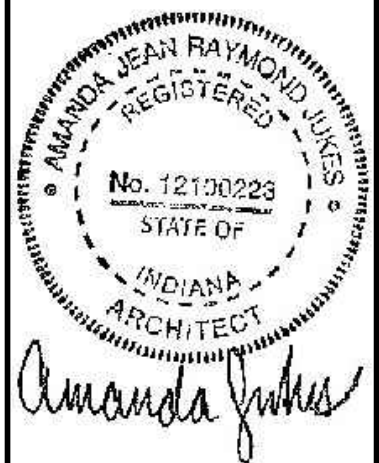


RENOVATION NOTES

- A. NEW WALL/ WALLS AS INDICATED
- B. NEW DOOR
- C. NEW FLOORING
- D. NEW CEILING TILE & GRID
- E. NEW WALL PAINT
- F. NEW WALL BASE
- G. NEW MOVEABLE WALL
- H. EXISTING CABINETS TO BE RE-USED, NEW CABINET DOORS & HARDWARE.
- I. INSTALL NEW DOORS ON EXISTING EXTERIOR WALL STORAGE
- J. NEW WALL HUNG LAVATORY (INSTALL WHERE EXIST. SINK IS REMOVED)
- K. NEW WINDOW COVERINGS
- L. ADJUST EXIST. CLG. TILE & GRID & LIGHTS
- M. REMOVE CAP OF EXISTING PARTIAL HEIGHT WALL. ADD ADDITIONAL CMU AS INDICATED AND BUILD WALL TO ROOF DECK.
- N. MODIFY FIRE SPRINKLER SYSTEM AS NEEDED.

* SEE ROOM FINISH SCHEDULE FOR ALL INTERIOR FINISHES.

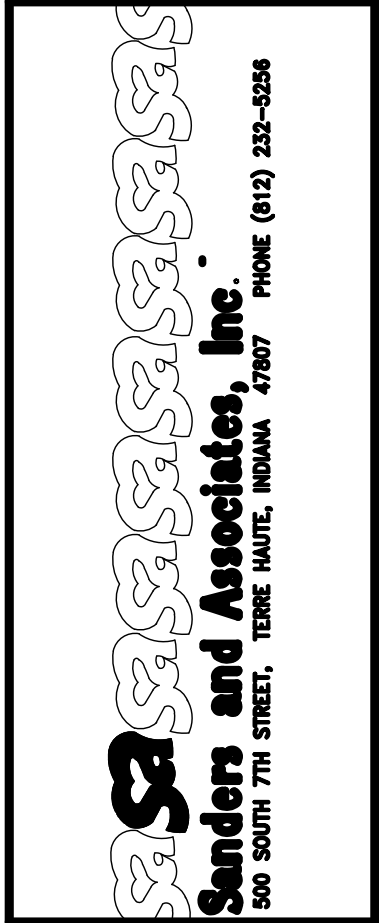
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PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

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2303

DATE
03/25/2024

SCALE
1/4" = 1'-0"

SHEET TITLE
OFFICE & TEEN ROOM PLANS

SHEET NUMBER
A-2.2

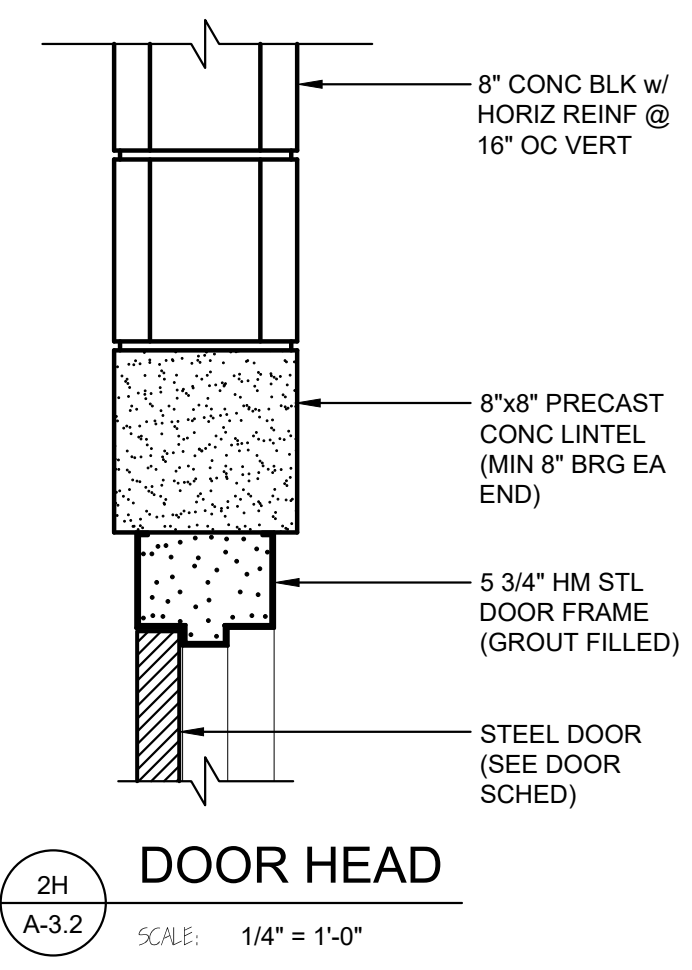
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ENLARGED LOBBY, STORAGE, TEEN ROOM, OFFICE PLANS
 SCALE: 1/4" = 1'-0"



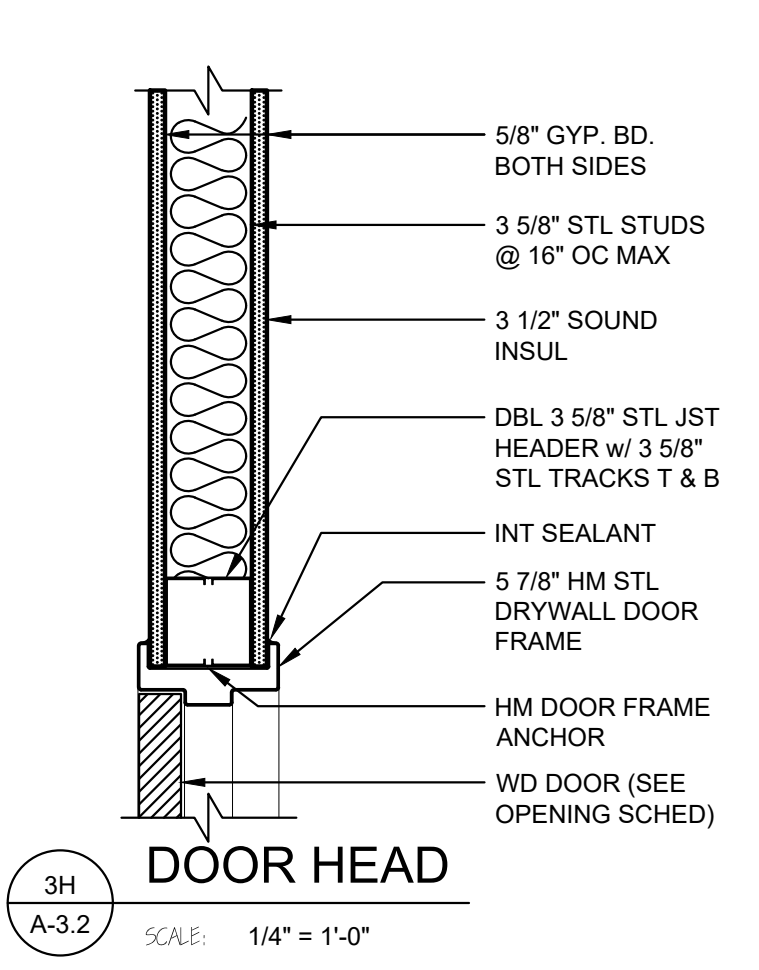
DOOR AND FRAME SCHEDULE												
MARK	DOOR			MATL	TYPE (ELEV)	GLASS		FRAME			FIRE RATING LABEL	NOTES
	WD	HGT	THK			WD	HGT	MATL	HEAD	JAMB		
1	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	2H	2J	--	HARDWARE SET 4.0
2	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	2H	2J	--	HARDWARE SET 4.0
3	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	2H	2J	--	HARDWARE SET 4.0
4	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	2H	2J	--	HARDWARE SET 4.0
5	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	3H	3J	--	HARDWARE SET 2.0
6	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	3H	3J	--	HARDWARE SET 2.0
7	3'-0"	7'-0"	1 3/4"	STL	A	4"	20"	HM	3H	3J	--	HARDWARE SET 2.0
8	3'-0"	7'-0"	1 3/4"	STL	B	12"	12"	HM	3H	3J	--	HARDWARE SET 4.0
9	3'-0"	7'-0"	1 3/4"	STL	C	--	--	HM	3H	3J	--	HARDWARE SET 3.0
10	3'-0"	7'-0"	1 3/4"	STL	C	--	--	HM	3H	3J	--	HARDWARE SET 3.0
11	3'-0"	7'-0"	1 3/4"	STL	B	12"	12"	HM	3H	3J	--	HARDWARE SET 4.0
12	(PAIR) 3'-0"	7'-0"	1 3/4"	STL	D	--	--	HM	3H	3J	1HR	HARDWARE SET 1.0
13	(PAIR) 3'-0"	7'-0"	1 3/4"	STL	D	--	--	HM	3H	3J	1HR	HARDWARE SET 1.0
14	--	--	--	--	--	--	--	HM	4H	4J	--	--
15	3'-0"	7'-0"	1 3/4"	STL	F	--	--	HM	2H	2J	--	HARDWARE SET 5.0

GENERAL DOOR NOTES

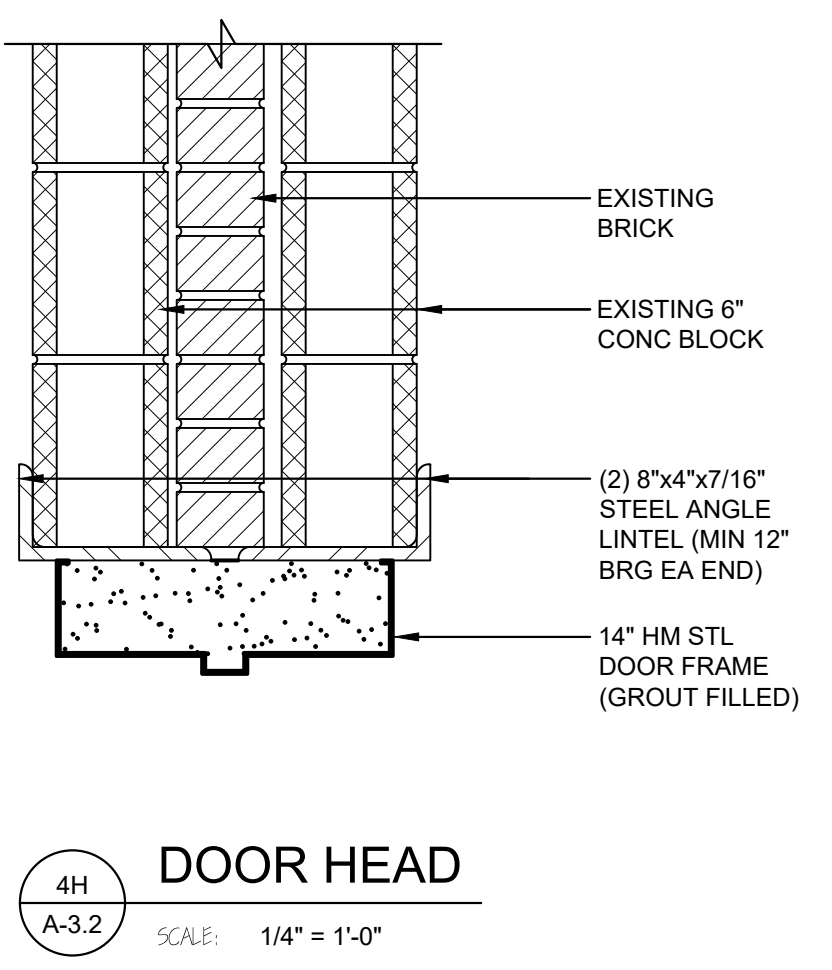
- ALL DOORS WITHOUT EXCEPTION SHALL BE COMPLIANT WITH THE AMERICAN WITH DISABILITIES ACT. (ADA)
- CHANGE IN FLOORING MATERIAL SHALL OCCUR UNDER DOOR THRESHOLDS OR TRANSITION STRIPS. A MAXIMUM OF 1/4" HIGH.
- ALL EXTERIOR METAL DOORS SHALL BE INSULATED.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING. THE HARDWARE SHALL BE 34" MINIMUM AND 48" MAXIMUM ABOVE THE FLOOR.
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM.
- ALL EXTERIOR HOLLOW METAL DOOR FRAMES SHALL BE WELDED.



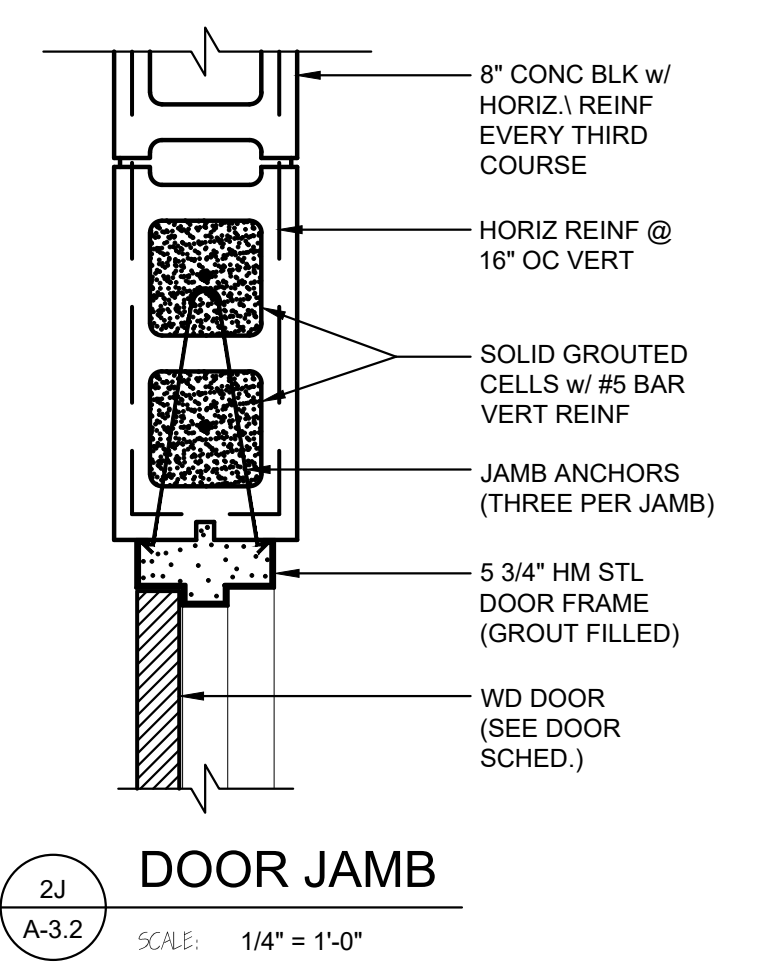
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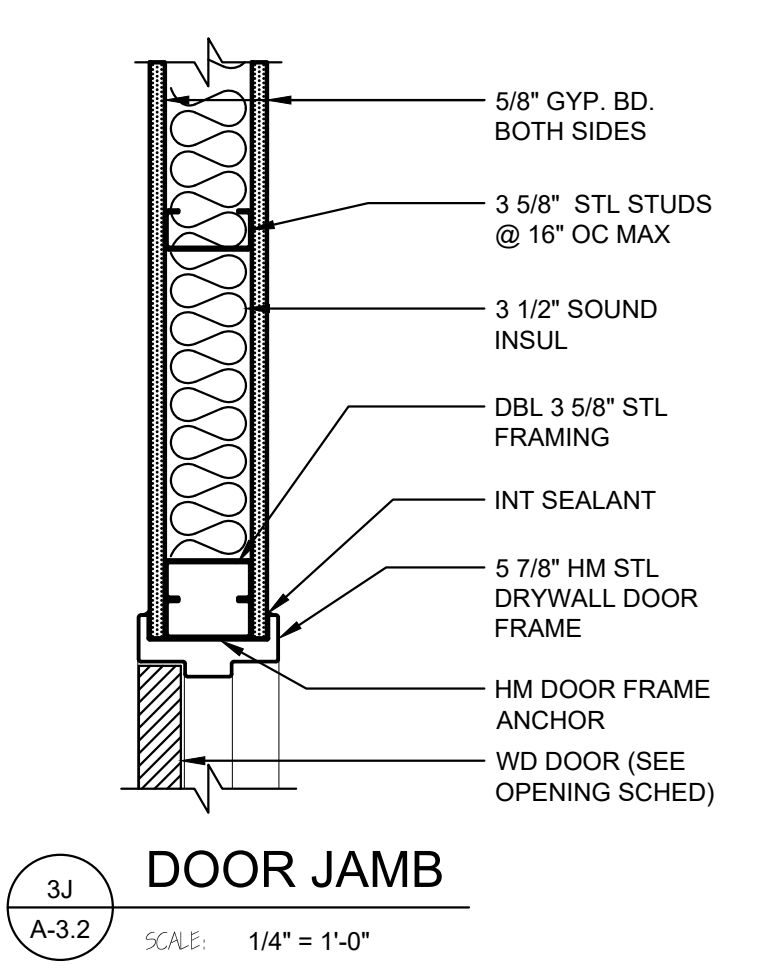
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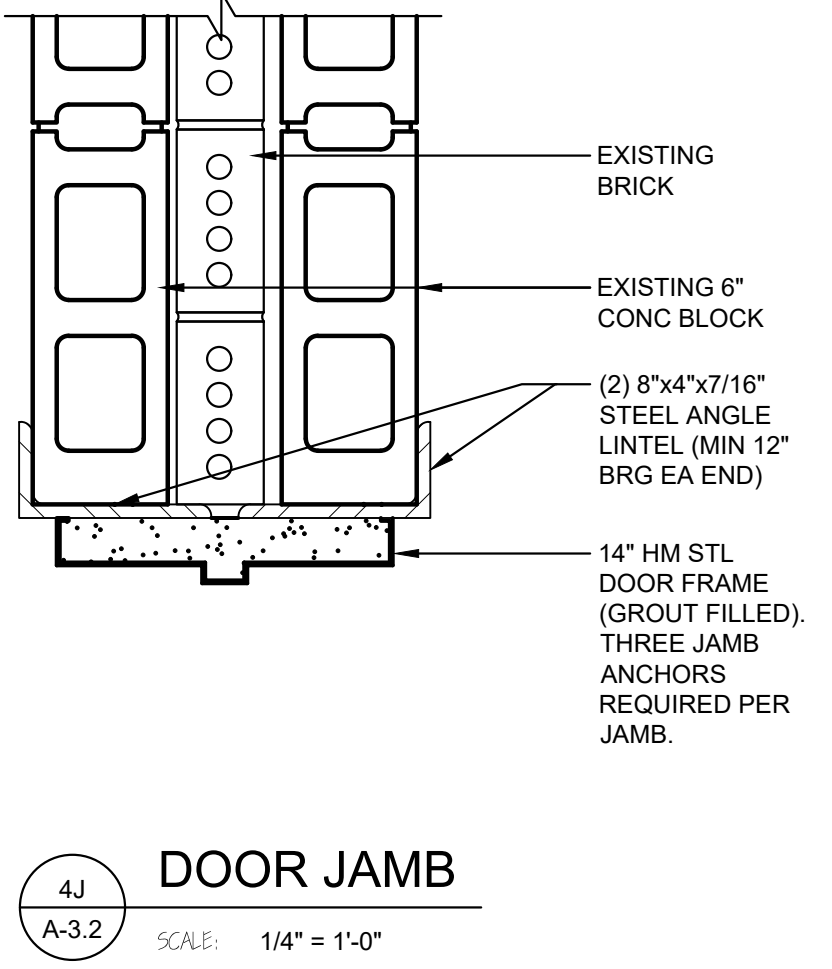
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A-3.2 SCALE: 1/4" = 1'-0"



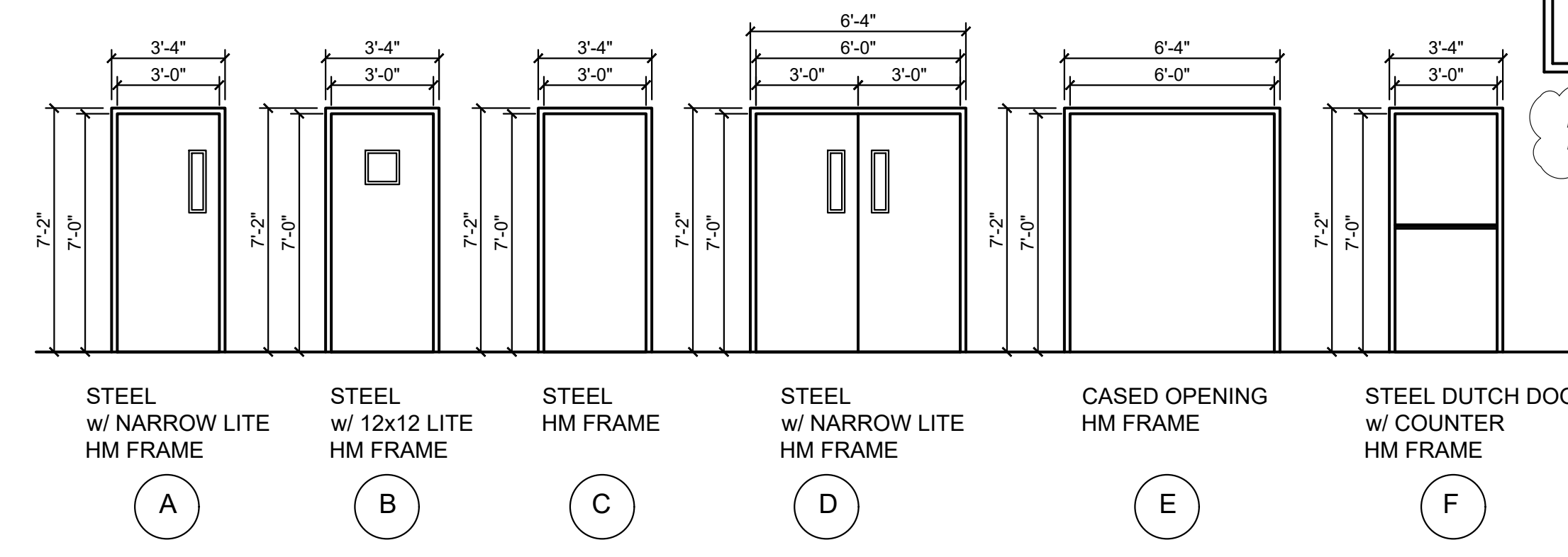
2J
A-3.2 SCALE: 1/4" = 1'-0"



3J
A-3.2 SCALE: 1/4" = 1'-0"



4J
A-3.2 SCALE: 1/4" = 1'-0"



1
A-3.2 SCALE: 1/4" = 1'-0"

NOTE: EXISTING DOOR HARDWARE MANUFACTURER IS SCHLAGE.

Hardware Sets

Doors: 12, 13

Set: 1.0

2 Continuous Hinge	CFM_HDI-M		PE
2 Fire Rated Surf Vert Rod, Nightlatch	6170F90ED AU427F Temp Core	630	YA
2 Fire Rated Surf Vert Rod, Dummy	6170F90ED AU429F	630	YA
2 Permanent Core	IC Core as req'd		
2 Closer	5800 Series (Mount as req'd)	689	YA
2 Kick Plate	K1050 - 10" x 2" LDW x 4BE x CSK	US32D	RO
2 Magnetic Holder	997	689	RF
2 Gasketing	S88D		PE
2 Mtg Edge Gasketing	S77D		PE
1 Position Switch	DPS		SU

Notes:
Magnetic hold opens tied to fire alarm.

Doors are normally held open by magnetic holders.
Upon activation of fire alarm system or loss of power, door will close and latch.
Free egress at all times by pressing rail of either exit device and exiting.

Doors: 5, 6, 7

Set: 2.0

3 Hinge, Full Mortise	TA2714 (Qty & size per spec, NRP as req'd)	US26D	MK
1 Entry Lock	AU 4604LN Temp Core	626	YA
1 Permanent Core	IC Core as req'd		
1 Door Stop	406 / 409 / 441CU as req'd	US32D	RO
1 Gasketing	S88D		PE

Notes:
Offices to be keyed separately - cannot be unlocked with building master key.
Coordinate with owner.

Doors: 10, 9

Set: 3.0

3 Hinge, Full Mortise	TA2714 (Qty & size per spec, NRP as req'd)	US26D	MK
1 Privacy	AU YPL02	626	YA
1 Surface Closer	1100 Series with COVER (Mount as req'd)	689	YA
1 Kick Plate	K1050 - 10" x 2" LDW x 4BE x CSK	US32D	RO
1 Door Stop	406 / 409 / 441CU as req'd	US32D	RO
1 Gasketing	S88D		PE
1 Coat Hook	RM801	US26D	RO

Doors: 1, 11, 2, 3, 4, 8

Set: 4.0

3 Hinge, Full Mortise	TA2714 (Qty & size per spec, NRP as req'd)	US26D	MK
1 Passage Latch	AU 4601LN Temp Core	626	YA
1 Door Stop	406 / 409 / 441CU as req'd	US32D	RO
1 Gasketing	S88D		PE

Doors: 15

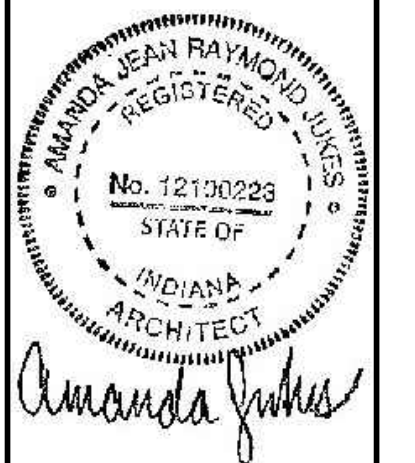
Set: 5.0

4 Hinge, Full Mortise	TA2714 (Qty & size per spec, NRP as req'd)	US26D	MK
1 Surface Bolt	630-4	US26D	RO
1 Entry Lock	AU 4604LN Temp Core	626	YA
1 Permanent Core	IC Core as req'd		
1 Astragal, horizontal	355_V		PE
1 Gasketing	S88D		PE

Notes:
Dutch Door with shelf.
Surface bolt used to secure the top half to the bottom half of door.
Horizontal astragal to seal gap between doors.

REVISIONS

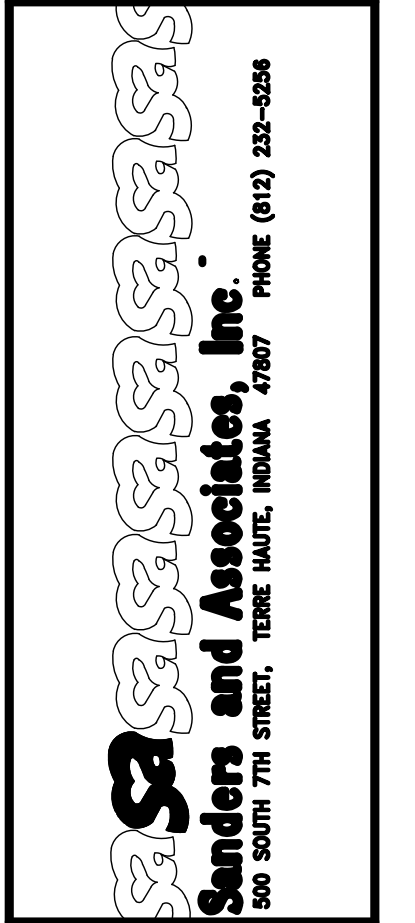
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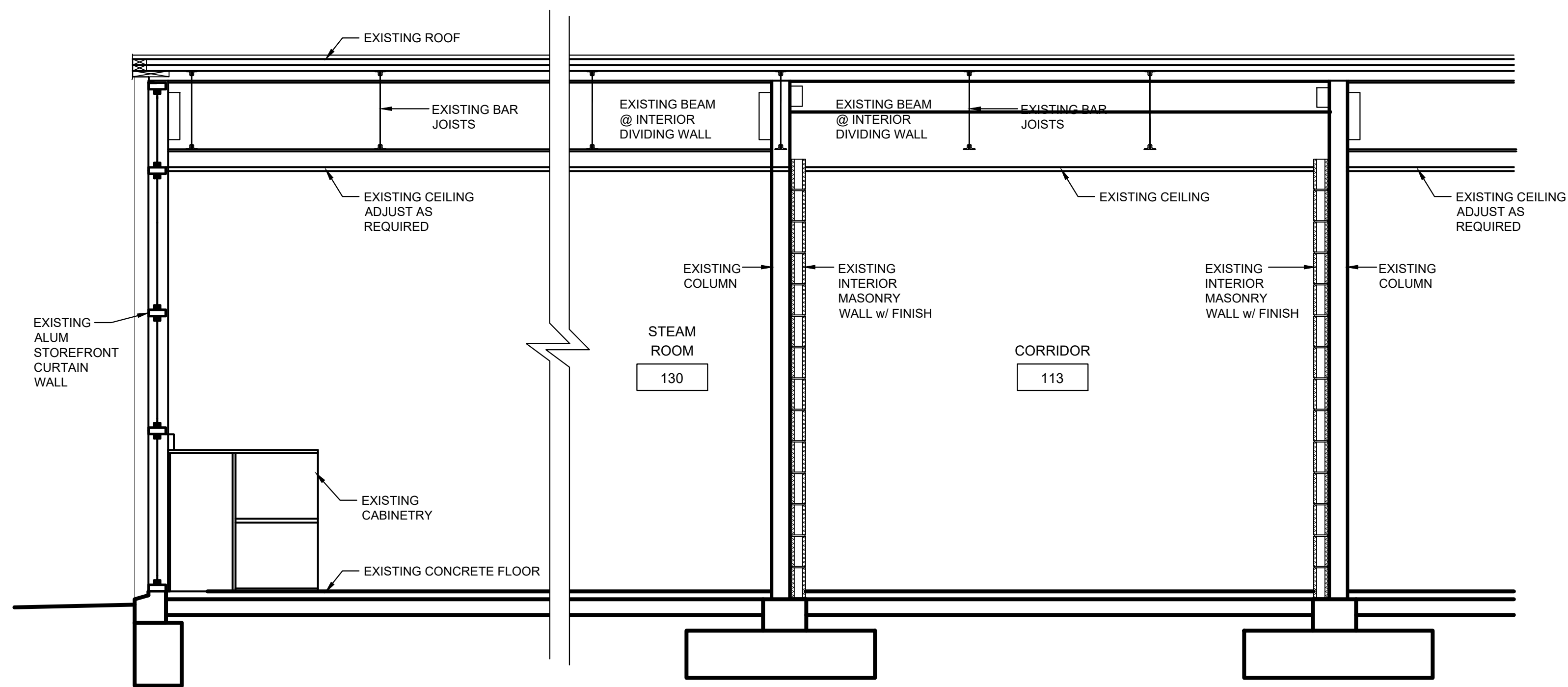
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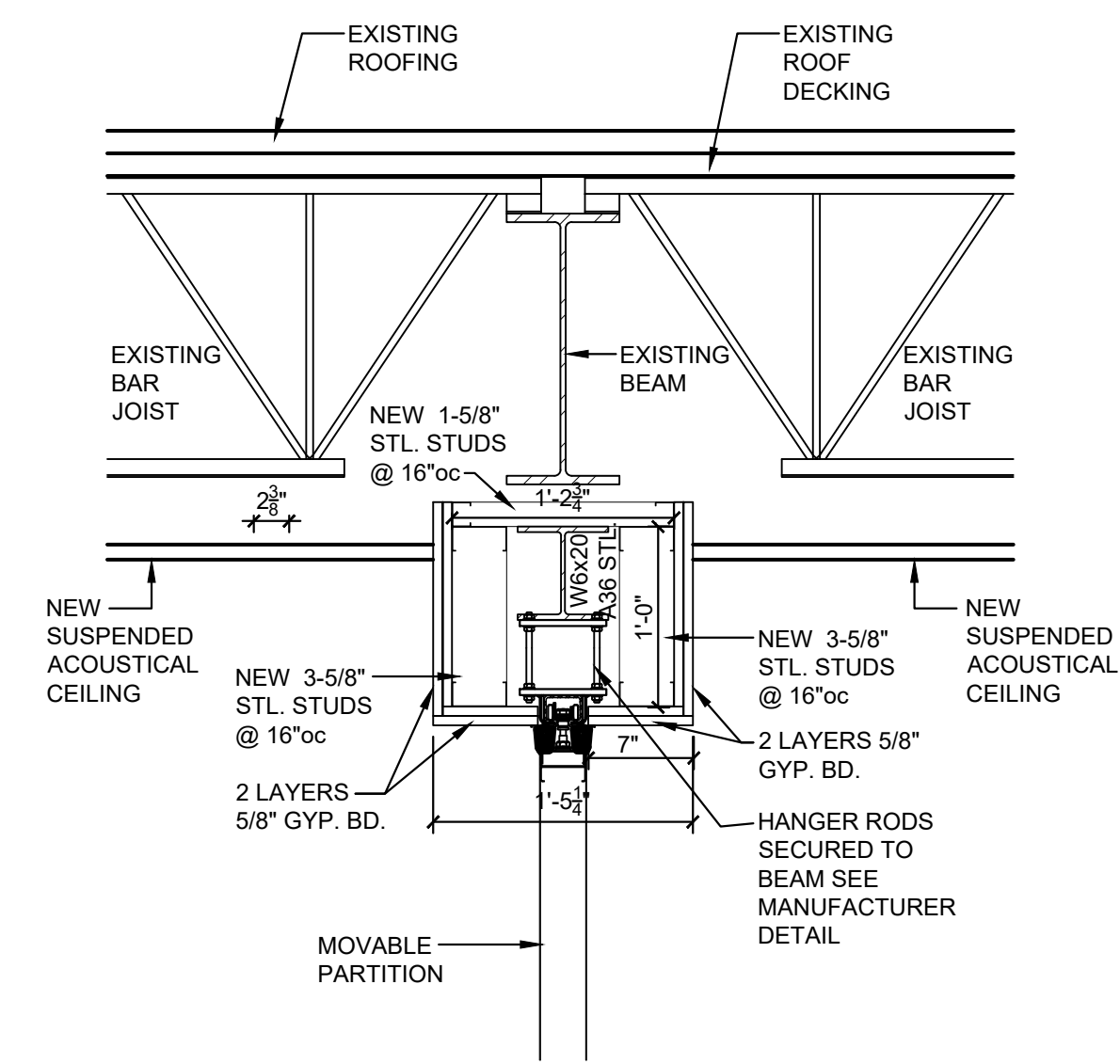


PROJECT
**TERRE HAUTE BOYS & GIRLS
CLUB RENOVATION
55 SOUTH BROWN AVENUE**

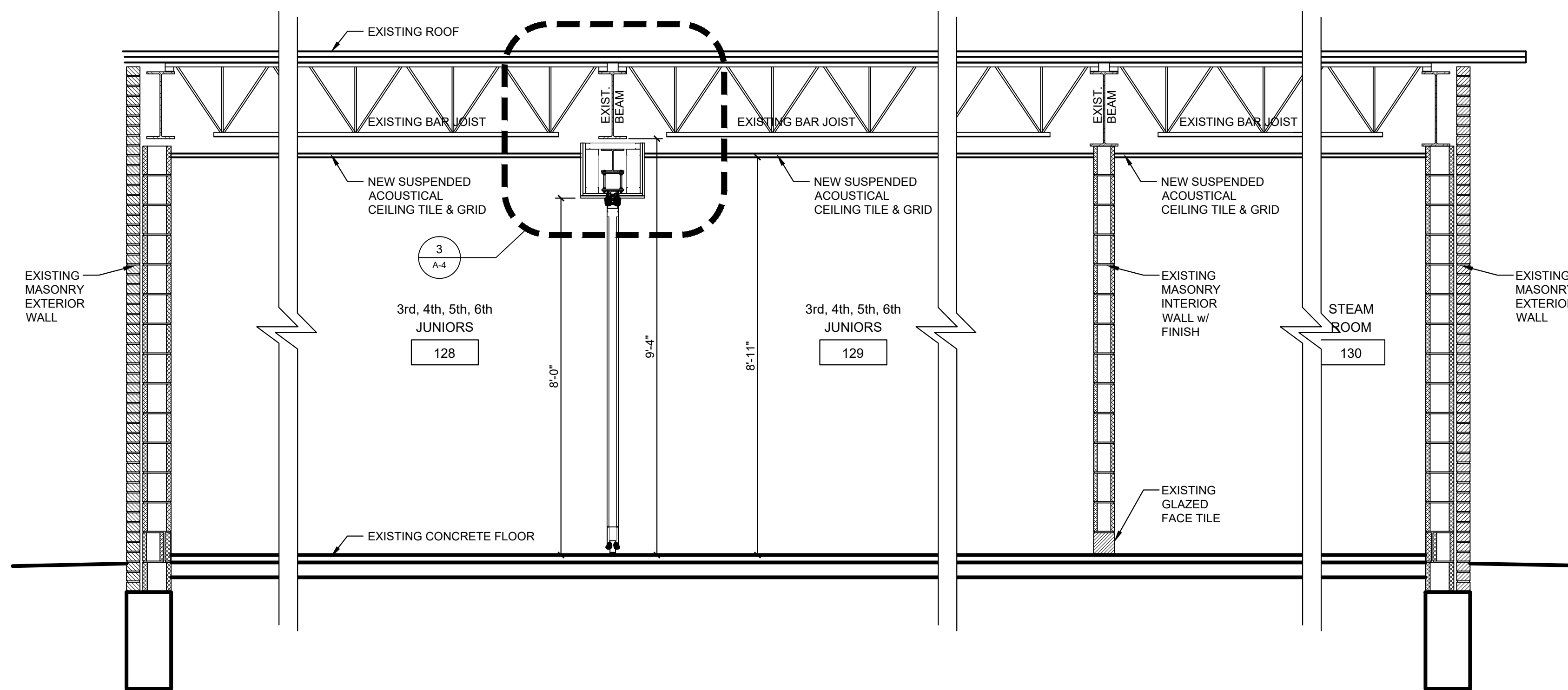
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DATE	03/25/2024
SCALE	SEE SHEET
SHEET TITLE	DOOR SCHEDULE & DETAILS
SHEET NUMBER	A-3.2



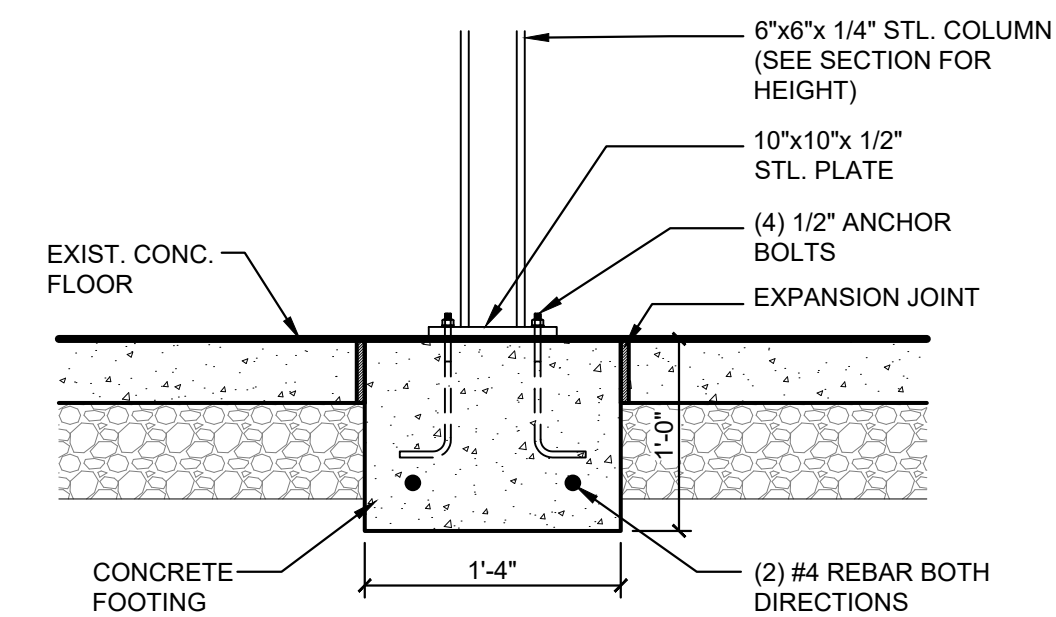
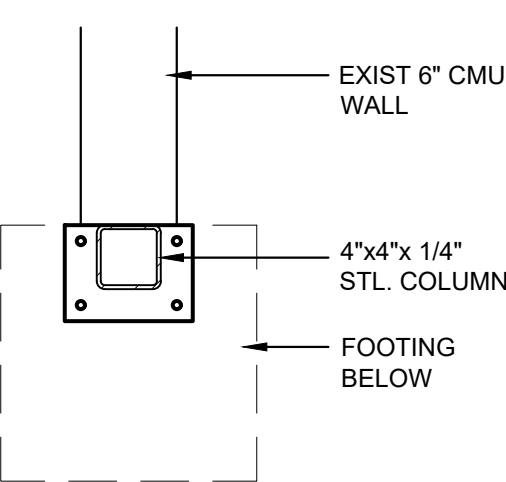
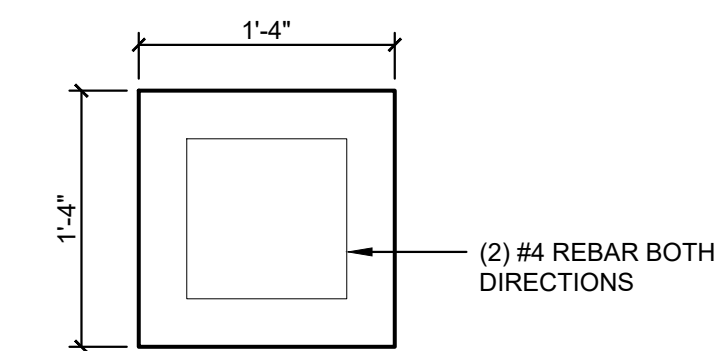
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A-4.1
TYPICAL BUILDING SECTION
SCALE: 1/2" = 1'-0"



3
A-4.1
MOVABLE PARTITION DETAIL
SCALE: 1" = 1'-0"

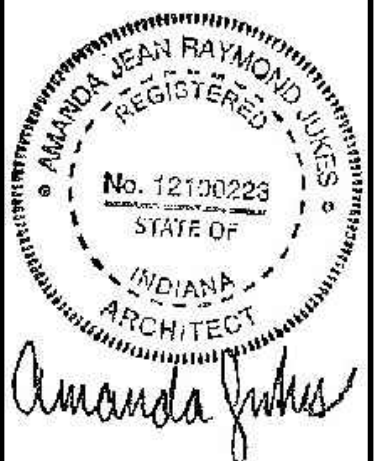


2
A-4.1
BUILDING PARTITION SECTION
SCALE: 1/2" = 1'-0"



4
A-4.1
COLUMN FOUNDATION DETAIL
SCALE: 1" = 1'-0"

REVISIONS	
NO.	DATE
1	4/10/24



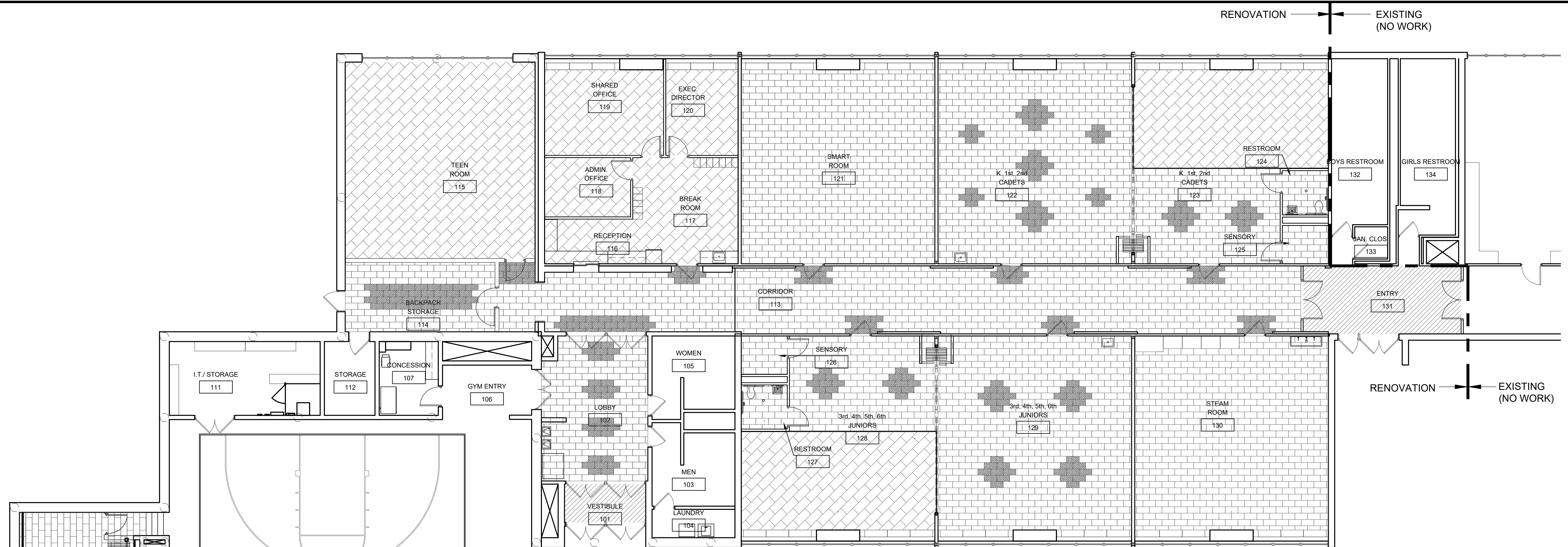
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A. JUKES
DRAWN BY
AJ / DC
CHECKED BY
DS / AJ

Sanders and Associates, Inc.
300 South 7th Street, Terre Haute, Indiana 47707 Phone (812) 232-4254

PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

JOB NUMBER
2303
DATE
03/25/2024
SCALE
1/2" = 1'-0"
SHEET TITLE
CADET/JUNIOR SECTIONS & DETAILS

SHEET NUMBER
A-4.1



INTERIOR FINISHES

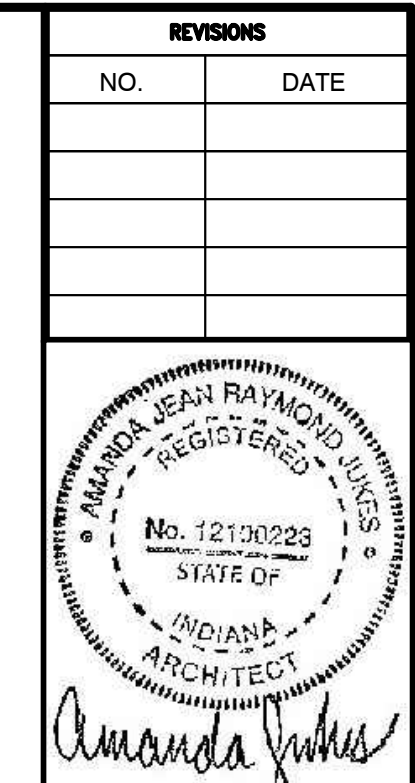
FLOORS	WALLS
<p>1. EXISTING FLOOR TO REMAIN</p> <p>2. CARPET- MANUFACTURER - MOHAWK GRSLUP STYLE: ART STYLE COLLECTION, SHARED PATH & DISRUPTIVE PATH (12"X36", MODULAR) COLOR: (FIELD) CHARCOAL (ACCENT) COSMIC SKY</p> <p>3. LVT: MANUFACTURER - MOHAWK GROUP STYLE: MATUTO PLUS STONE COLOR: (FIELD) FROSTBITE STONE (ACCENTS) MEGA BLUE STONE & SONIC SILVER STONE</p> <p>4. ENTRANCE CARPET- MANUFACTURER - MANNINGTON COMMERCIAL STYLE: FRICTION COLLECTION, INERTIA (18"X36", MODULAR) COLOR: FLUID, 32367</p> <p>5. VINYL STAIR SYSTEM- JOHNSONITE VINYL STAIR TREADS WWW.JOHNSONITE.COM STYLE: SERVICE WEIGHT SQUARE NOSE (ST) COLOR: TBD</p>	<p>11. EXISTING TO REMAIN</p> <p>12. PAINT- SHERWIN WILLIAMS (SW) EGGSHELL SATIN FINISH COLORS: PRIMARY (A) SW6254 LAZY GRAY ACCENT (B) SW6959 BLUE CHIP CADETS (C) SW6884 OBSTINATE ORANGE JUNIORS (D) SW6903 CHEERFUL TEEN (E) SW6254 LAZY GRAY STEAM/SMART (F) SW6959 BLUE CHIP</p> <p>13. FIBERGLASS REINFORCED PANEL (FRP) WAINSCOT (60") MANUFACTURER: CRANE COMPOSITES STYLE: VARIETEX - SANDSTONE TEXTURE, 0.09" COLOR: MORNING MIST GRAY (636) (INCLUDE ALL ACCESSORIES/TRIM)</p>
<p>7. EXISTING TO REMAIN</p> <p>8. 4.25" HIGH VINYL BASE- JOHNSONITE TIGHTLOCK WALL BASE FOR VINYL, 75' COILS, THICKNESS: 3/8" COLOR: IRON MOUNTAIN TG3</p> <p>9. 6.25" HIGH VINYL BASE- JOHNSONITE TIGHTLOCK WALL BASE FOR VINYL FLOORING, 75' COILS, THICKNESS: 3/8" COLOR: IRON MOUNTAIN TG3</p>	<p>14. ACUSTI-SEAL LEGACY - PAIRED PANEL STYLE: CALLA, 24" SQUARE LAY-IN, TEGULAR, .85 NRC COLOR: WHITE GRID: 15/16"</p>
<p>WALL BASE</p> <p>7. EXISTING TO REMAIN</p> <p>8. 4.25" HIGH VINYL BASE- JOHNSONITE TIGHTLOCK WALL BASE FOR VINYL, 75' COILS, THICKNESS: 3/8" COLOR: IRON MOUNTAIN TG3</p> <p>9. 6.25" HIGH VINYL BASE- JOHNSONITE TIGHTLOCK WALL BASE FOR VINYL FLOORING, 75' COILS, THICKNESS: 3/8" COLOR: IRON MOUNTAIN TG3</p>	<p>CEILING</p> <p>16. EXISTING SUSPENDED CEILING TILE & GRID TO REMAIN, ADJUST AS REQUIRED</p> <p>17. NEW ACOUSTICAL CEILING TILE & GRID MANUFACTURER: ARMSTRONG STYLE: CALLA, 24" SQUARE LAY-IN, TEGULAR, .85 NRC COLOR: WHITE GRID: 15/16"</p>
<p>CABINERY</p> <p>TYPE: LAMINATE - WILSONART 3505-58 STORM SOLIDZ, SCULPTED FINISH STYLE: FLUSH/FULL-OVERLAY DOORS PULLS: STANDARD 4" WIRE PULL (SILVER)</p>	<p>WINDOW TREATMENTS</p> <p>MANUFACTURER: INSPIRED SHADES STYLE: ROLLER SHADES, CORDLESS, MANUAL LIFT COLOR/FABRIC: ARIA GRAY, 1% OPACITY MISCELLANEOUS NOTES: A. INTERIOR WOOD DOOR FINISH TO MATCH EXISTING B. ALL NEW/EXISTING HOLLOW METAL DOOR FRAMES TO BE PAINTED SW7074 SOFTWARE C. MOVEABLE PARTITION WALL - CADETS & JUNIORS ROOM MANUFACTURER: MODERN FOLD STYLE: ACOUSTI-SEAL LEGACY - PAIRED PANEL COLOR: STANDARD FINISH TBD D. MOVEABLE PARTITION WALL - MULTI-PURPOSE ROOM/STAGE MANUFACTURER: MODERN FOLD STYLE: ACOUSTI-SEAL LEGACY - SINGLE PANEL COLOR: STANDARD FINISH TBD E. BACKPACK STORAGE HOOKS MANUFACTURER: TOUGHHOOK (www.toughhook.com) STYLE: TOUGHHOOK XL COLOR: (4) COLORS TO BE SELECTED BY ARCHITECT F. COUNTERTOP BRACKETS MANUFACTURER: RAKKS STYLE: EH SURFACE-MOUNTED COUNTER SUPPORT BRACKET COLOR: MILL (UNFINISHED) ALUMINUM (EH-1818)</p>
<p>COUNTERTOPS</p> <p>TYPE: LAMINATE - WILSONART STANDARD LAMINATE COLOR: WHITE NEBULA 4621-60, MATTE FINISH EDGE: WATERFALL</p> <p>ACOUSTIC WALL TILES - SEE SHEETS A-7.3 - 7.7</p> <p>MANUFACTURER: FELT RIGHT STYLES: 6X24 SHIPLAP, 1X2 RECTANGLE, 1X1 SQUARE, LARGE DIAMOND, TRIANGLE, HEX</p> <p>COLORS: TEEN: ADMIRAL, CAST, ARMOR, MOON SMART: EBONY, CAST, ZINC CADETS: ADMIRAL, ARIES, MOON JUNIORS: ADMIRAL, CITRINE, MOON STEAM: OXFORD, CAYMAN, ARMOR</p>	<p>CEILING</p> <p>16. EXISTING SUSPENDED CEILING TILE & GRID TO REMAIN, ADJUST AS REQUIRED</p> <p>17. NEW ACOUSTICAL CEILING TILE & GRID MANUFACTURER: ARMSTRONG STYLE: CALLA, 24" SQUARE LAY-IN, TEGULAR, .85 NRC COLOR: WHITE GRID: 15/16"</p>



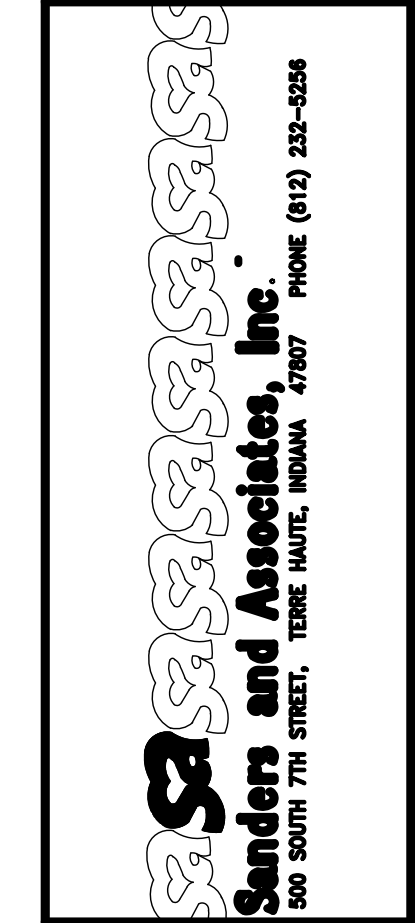
FINISH SCHEDULE

ROOM NAME	ROOM NUMBER	FLOORS					BASES				WALLS				CEILINGS		REMARKS		
		1	2	3	4	5	1	2	3	4	5	1	2	3	4	5		6	7
VESTIBULE	101				4														
LOBBY	102				3														
MEN	103	1																	
LAUNDRY	104	1																	
WOMEN	105	1																	
GYM ENTRY	106	1																	
CONCESSION	107	1																	
GYM	108	1																	
STORAGE	109	1																	
MULTI-PURPOSE	110	2	3																REPAIR CEILING AS REQD.
STORAGE	111	1																	
STORAGE	112	1																	
CORRIDOR	113			3															REPAIR CEILING AS REQD.
BACKPACK STORAGE	114			3															REPAIR CEILING AS REQD.
TEEN ROOM	115	2																	REPAIR CEILING AS REQD.
RECEPTION	116	2																	
BREAKROOM	117	2																	
ADMIN. OFFICE	118	2																	
SHARED OFFICE	119	2																	
EXEC. DIRECTOR	120	2																	
SMART ROOM	121			3															
K-1st, 2nd CADETS	122			3															
K, 1st, 2nd CADETS	123			2	3														
RESTROOM	124					3													
SENSORY	125	2																	
SENSORY	126	2																	
RESTROOM	127					3													
3rd, 4th, 5th, 6th JUNIORS	128			2	3														
3rd, 4th, 5th, 6th JUNIORS	129			3															
STEAM ROOM	130			3															
ENTRY	131						4												REPAIR CEILING AS REQD.
BOYS RR	132	1																	
JAN. CLOS	133	1																	
GIRLS RR	134	1																	

NOTE: ALL WALLS TO RECEIVE NOTED WALL TREATMENTS.

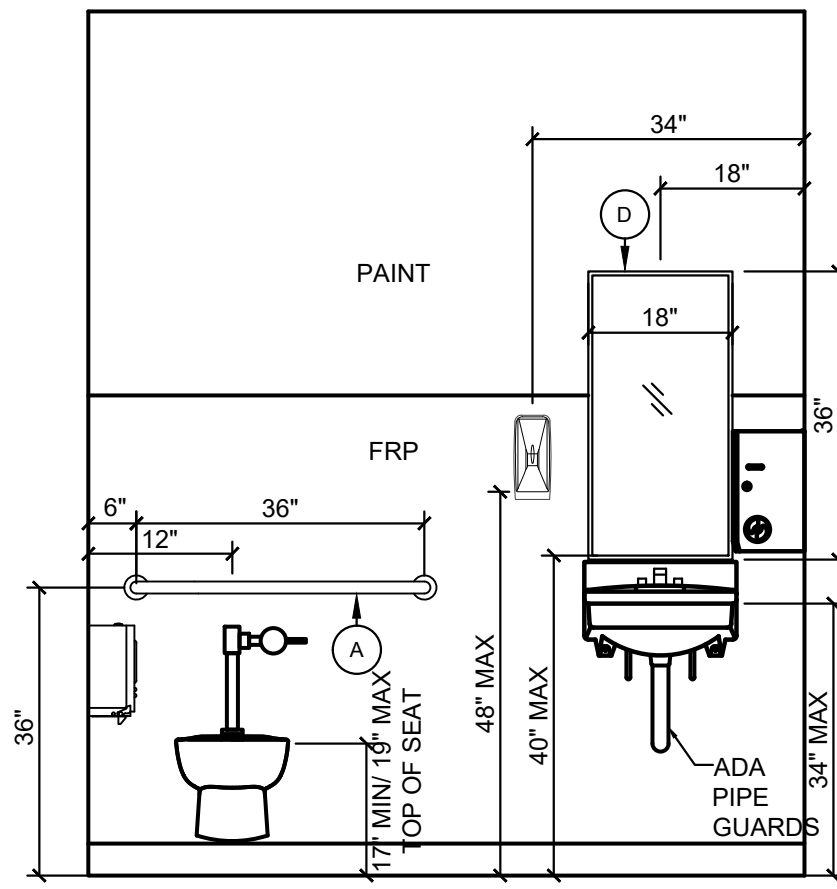


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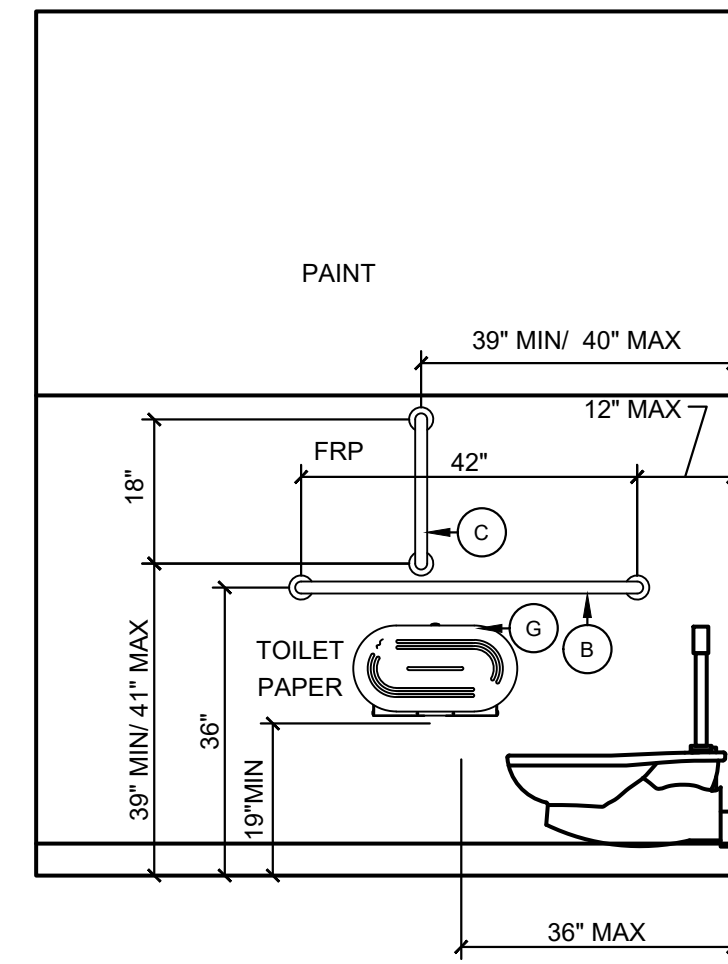


PROJECT
**TERRE HAUTE BOYS & GIRLS
CLUB RENOVATION**
55 SOUTH BROWN AVENUE

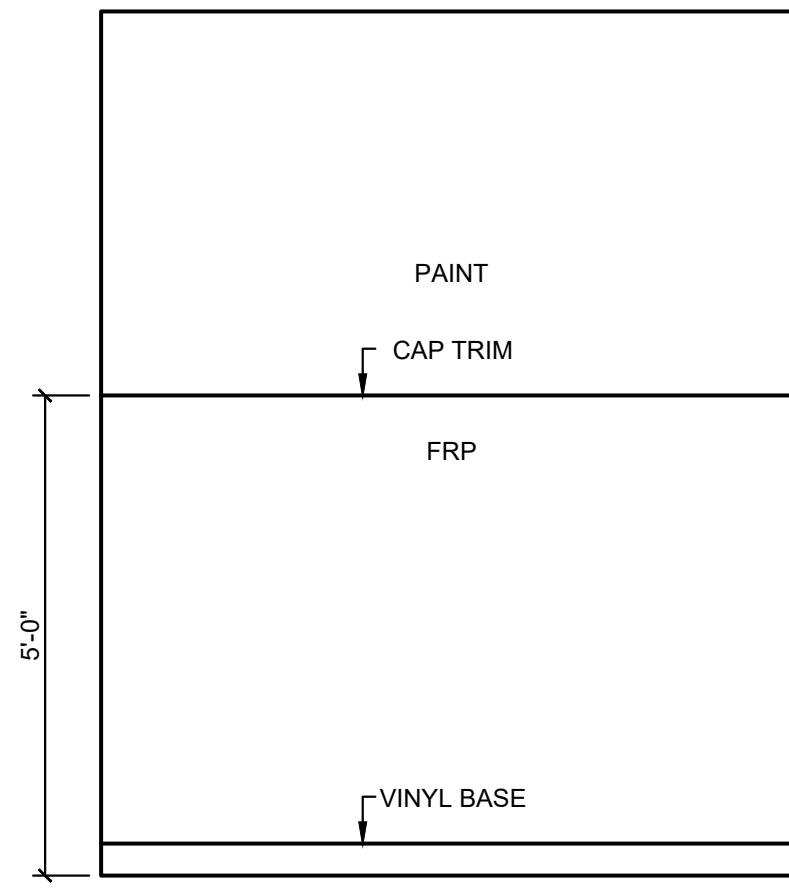
JOB NUMBER
2303
DATE
03/25/2024
SCALE
1/8" = 1'-0"
SHEET TITLE
**FINISH PLAN
SCHEDULES
& NOTES**
SHEET NUMBER
A-7.1



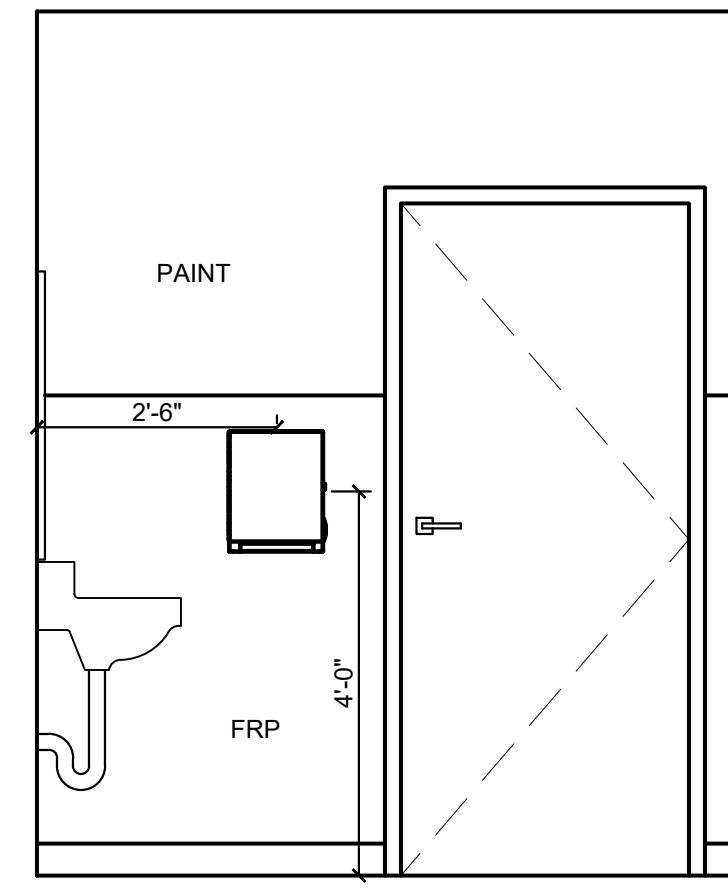
1 RR INTERIOR ELEV.
A-7.2 SCALE: 1/2" = 1'-0"



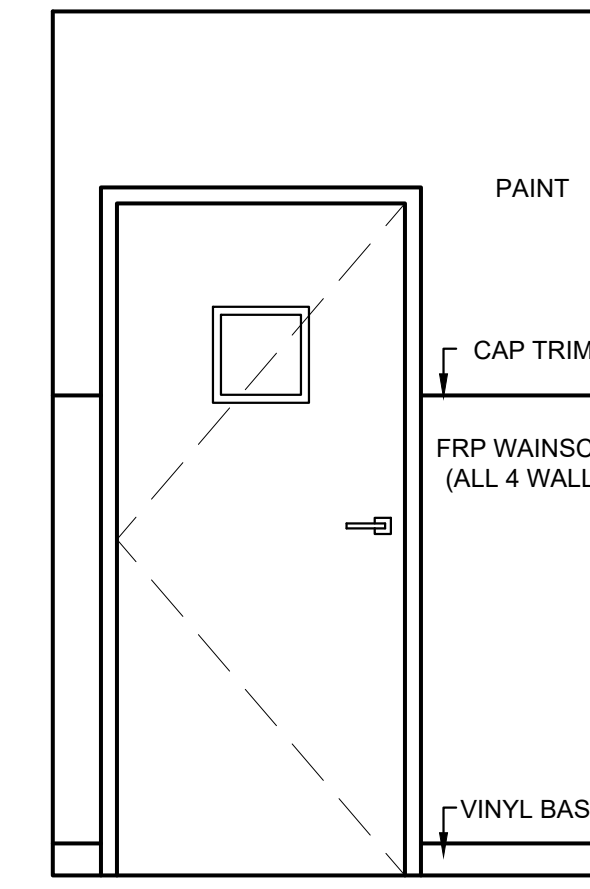
2 RR INTERIOR ELEV.
A-7.2 SCALE: 1/2" = 1'-0"



3 RR INTERIOR ELEV.
A-7.2 SCALE: 1/2" = 1'-0"



4 RR INTERIOR ELEV.
A-7.2 SCALE: 1/2" = 1'-0"

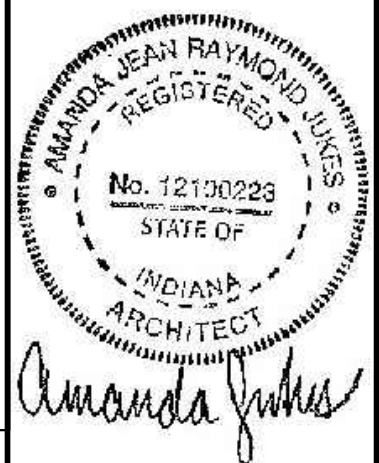


5 SENSORY INT. ELEV.
A-7.2 SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

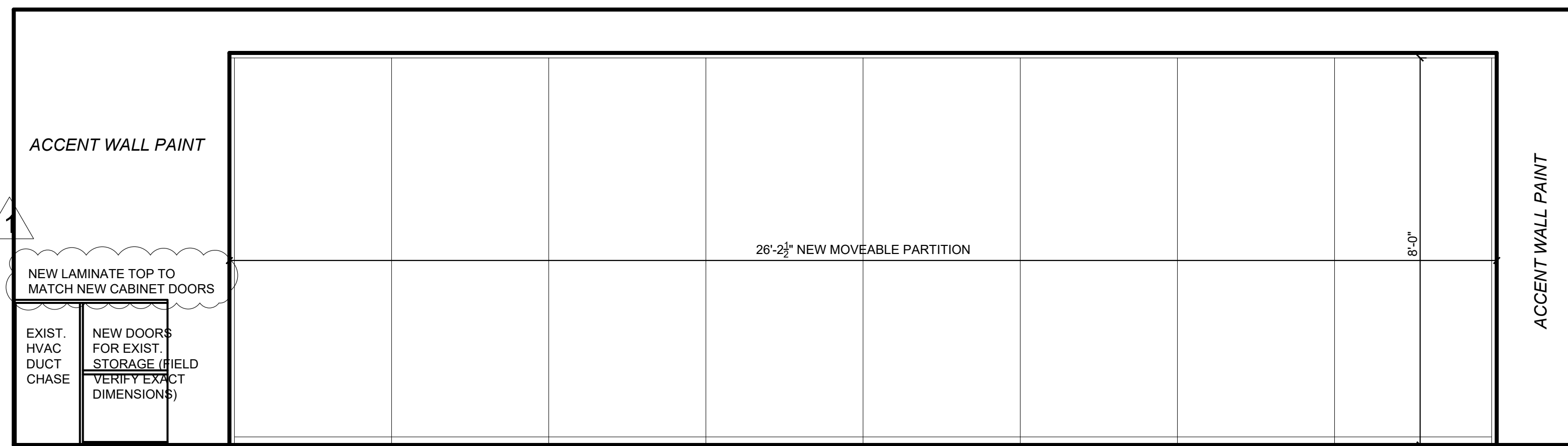
- CLASSROOM (WINDOW WALLS): G.C. TO PROVIDE/INSTALL WINDOW SHADES AND NEW CABINET DOOR FRONTS.
- CLASSROOM (MOVEABLE PARTITION WALLS): G.C. TO DEMO EXISTING WALLS AND INSTALL NEW STRUCTURAL SUPPORT FOR MOVEABLE PARTITIONS. SEE FINISH SCHEDULE FOR MANUFACTURER AND FINISH.
- CLASSROOM (WALL & BASE CABINETRY): G.C. TO ADD NEW LAMINATE DOORS, RESURFACE EXPOSED CABINETRY SURFACES WITH COORDINATING LAMINATE.

REVISIONS	
NO.	DATE
1	4/10/24

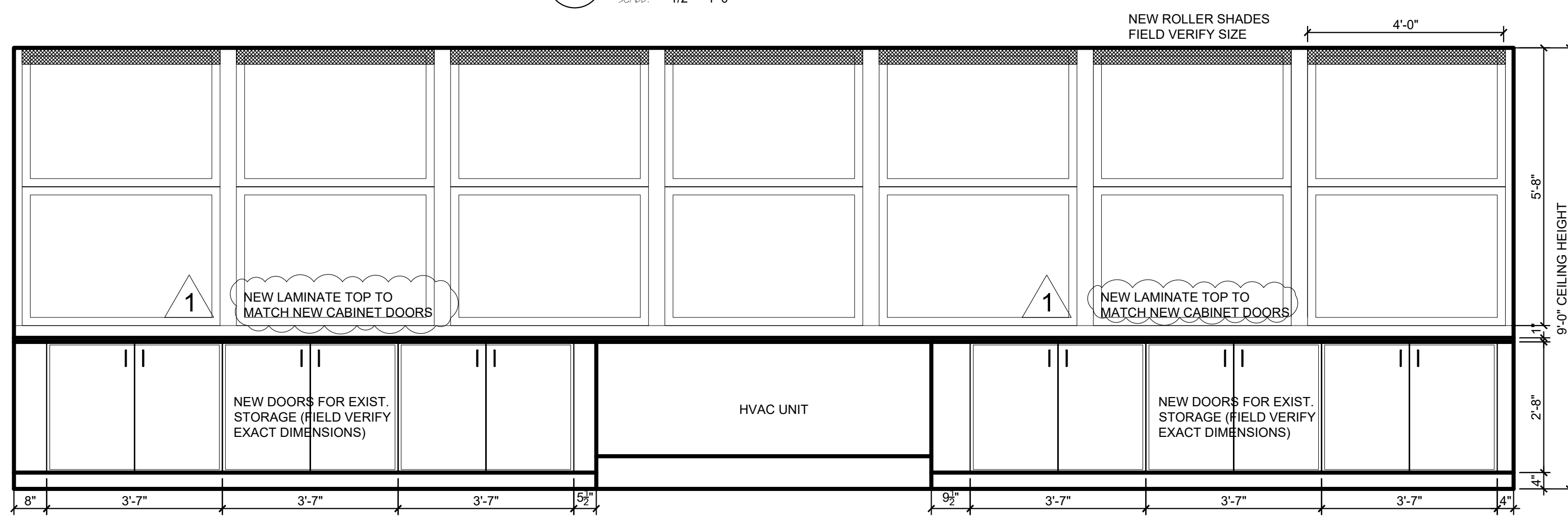


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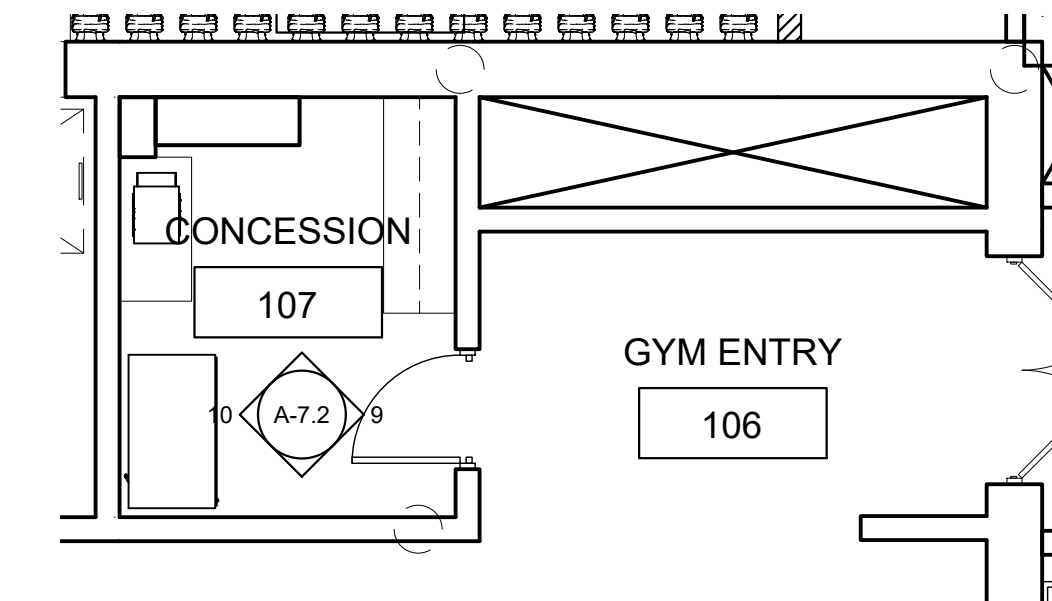
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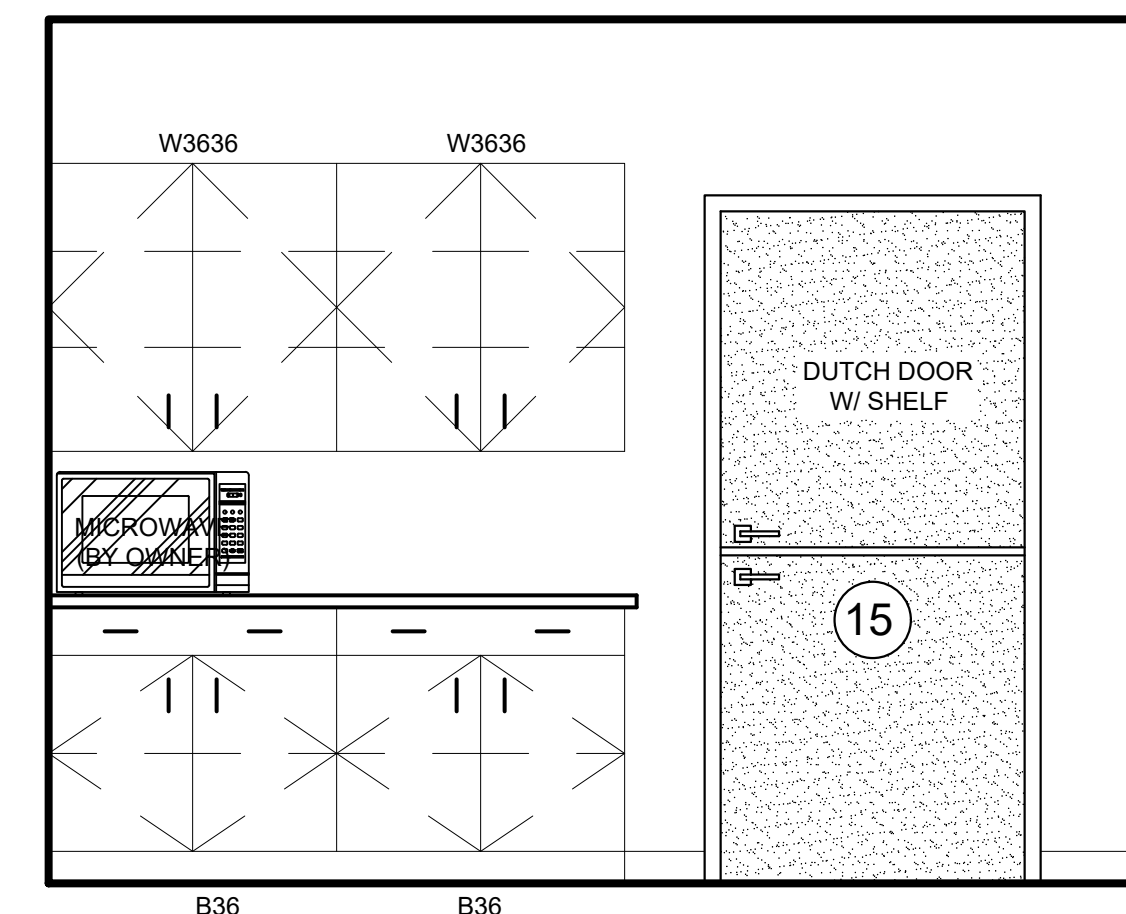
6 TYP. MOVEABLE PARTITION ELEVATION
A-7.2 SCALE: 1/2" = 1'-0"



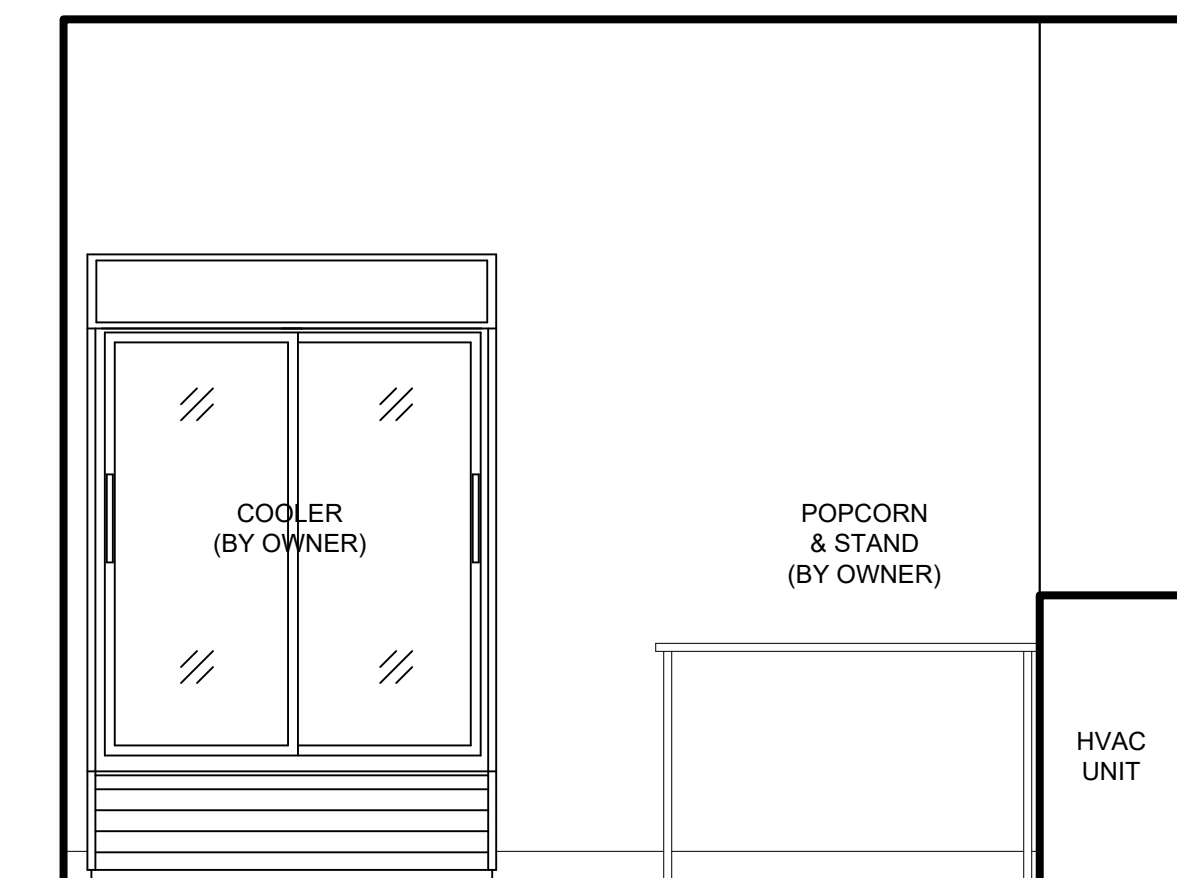
7 TYP. CLASSROOM ELEVATION
A-7.2 SCALE: 1/2" = 1'-0"



8 CONCESSION PLAN
A-7.2 SCALE: 3/16" = 1'-0"



9 EAST CONCESSION ELEVATION
A-7.2 SCALE: 1/2" = 1'-0"

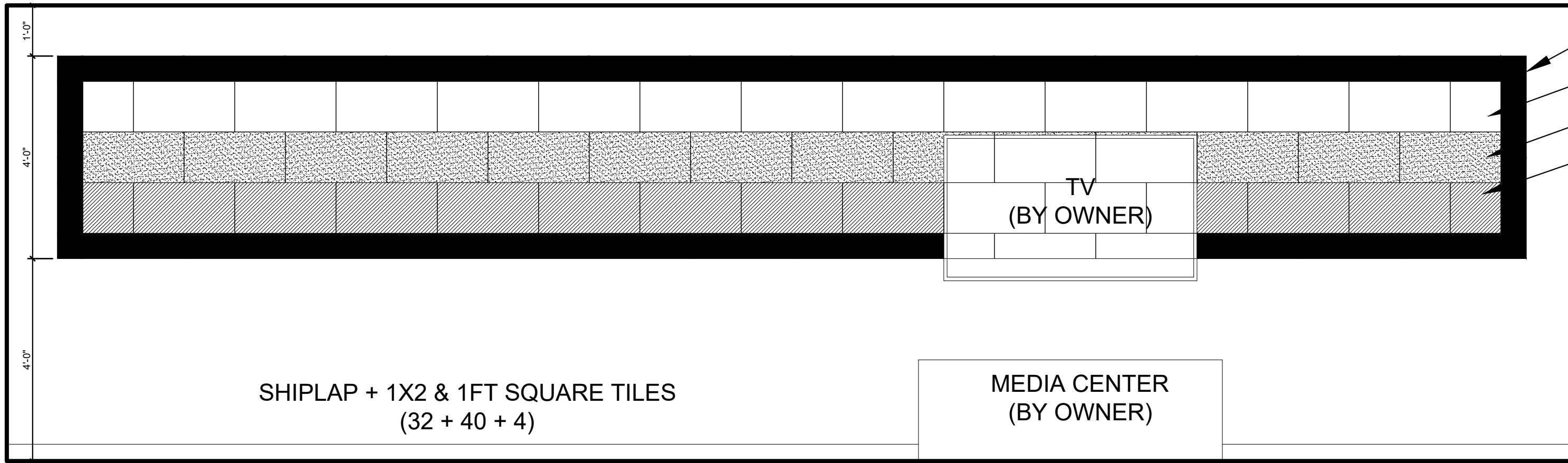


10 WEST CONCESSION ELEVATION
A-7.2 SCALE: 1/2" = 1'-0"

PROJECT
**TERRE HAUTE BOYS & GIRLS
CLUB RENOVATION**
55 SOUTH BROWN AVENUE

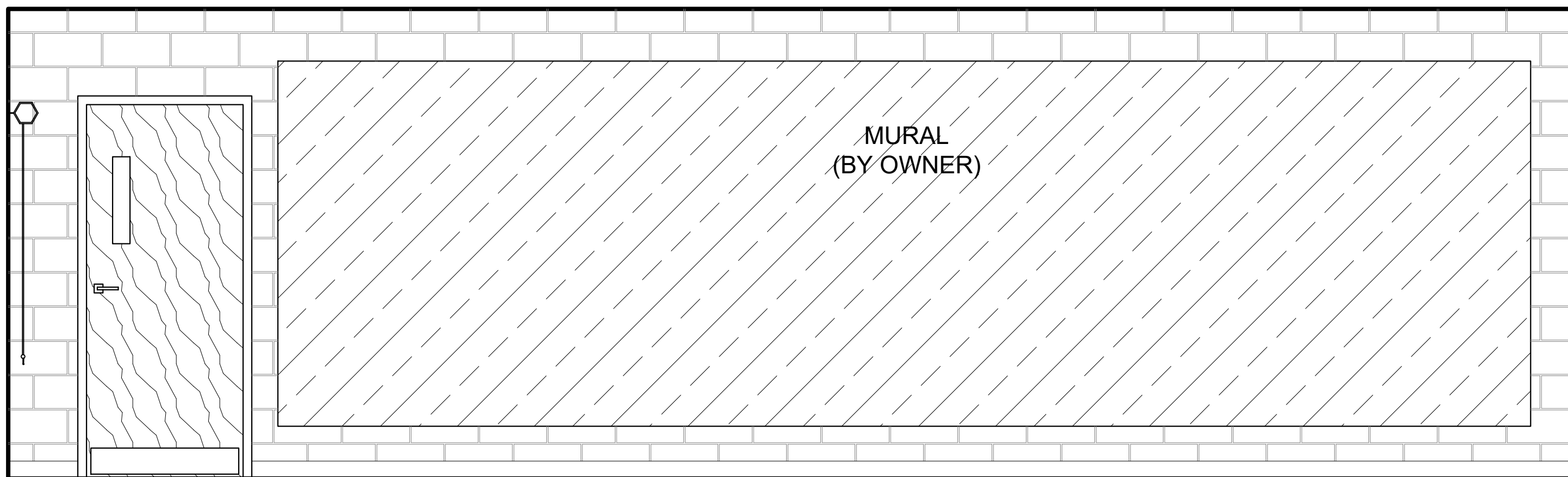
JOB NUMBER	2303
DATE	03/25/2024
SCALE	1/2" = 1'-0"
SHEET TITLE	INTERIOR ELEVATIONS - TYPICAL

SHEET NUMBER
A-7.2

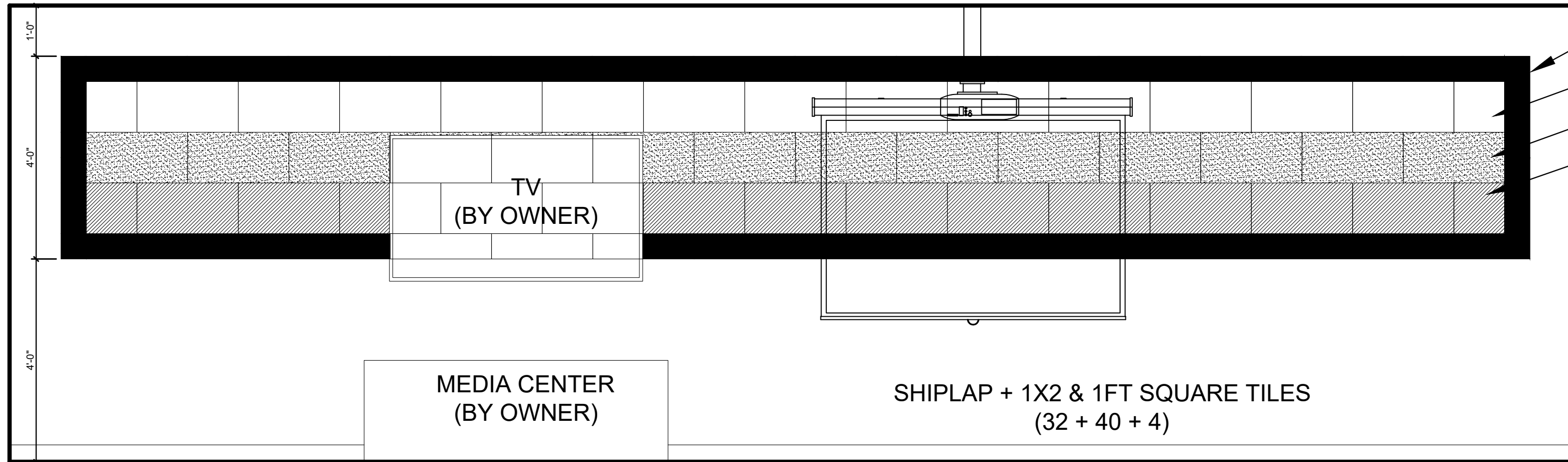


1 TEEN WEST INT. ELEVATION
SCALE: 1/2" = 1'-0"

- ADMIRAL (SHIPLAP)
- ZINC (1X2 & SQUARE)
- MOON (1X2 & SQUARE)
- JASPER (1X2 & SQUARE)

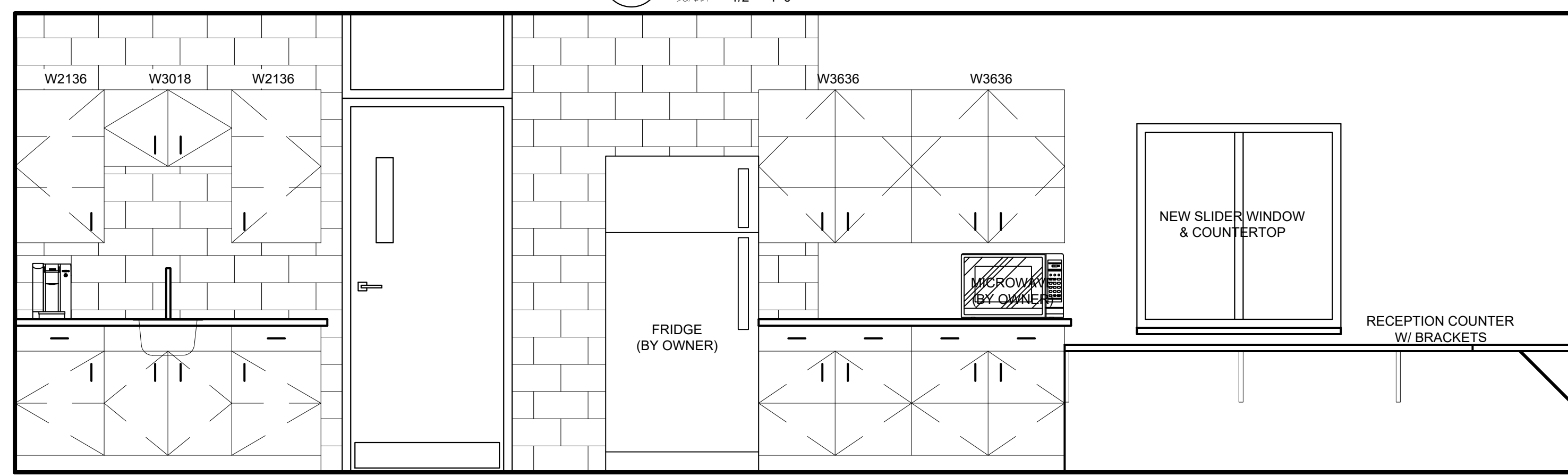


2 TEEN SOUTH INT. ELEVATION
SCALE: 1/2" = 1'-0"

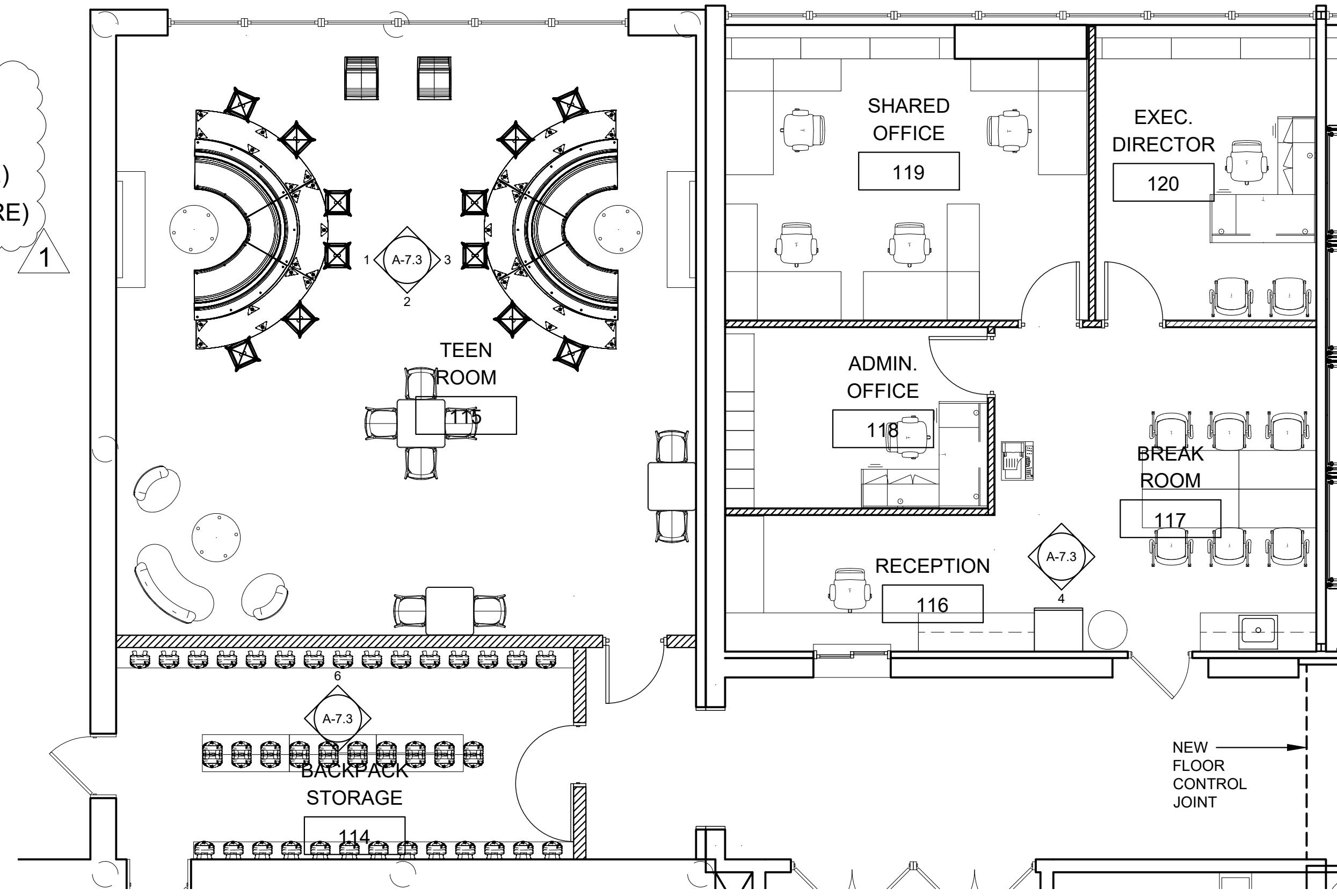


3 TEEN EAST INT. ELEVATION
SCALE: 1/2" = 1'-0"

- ADMIRAL (SHIPLAP)
- ZINC (1X2 & SQUARE)
- MOON (1X2 & SQUARE)
- JASPER (1X2 & SQUARE)

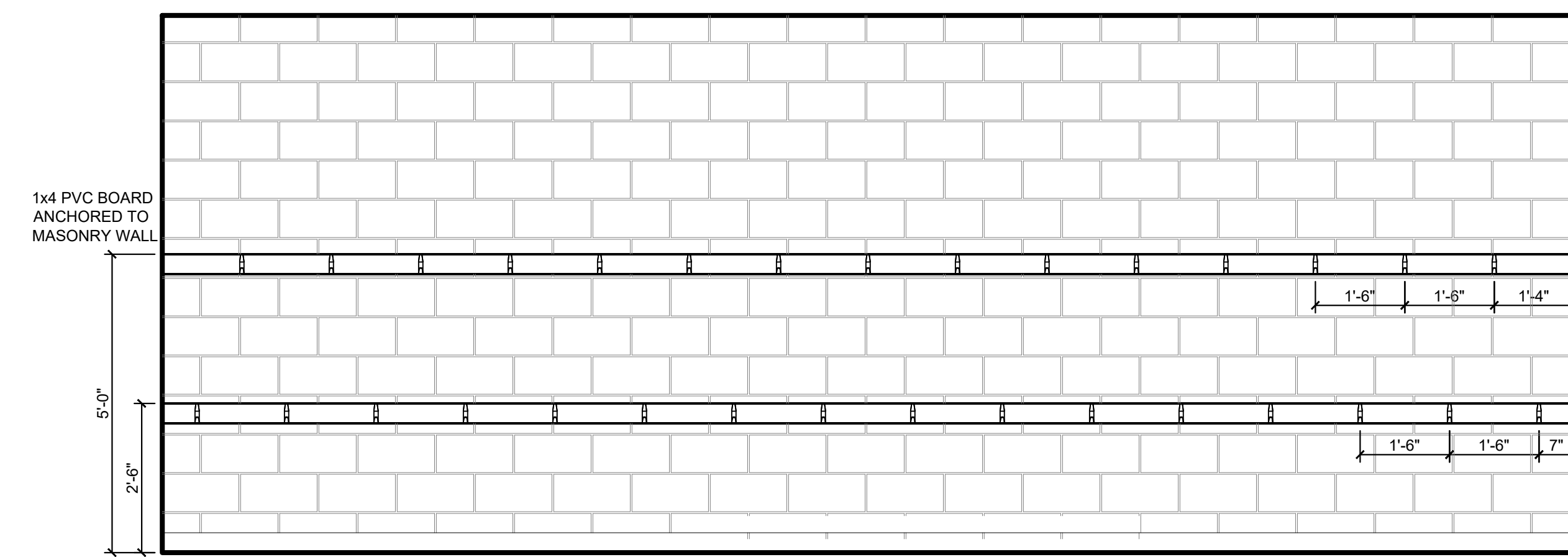


4 OFFICE INT. ELEVATION
SCALE: 1/2" = 1'-0"



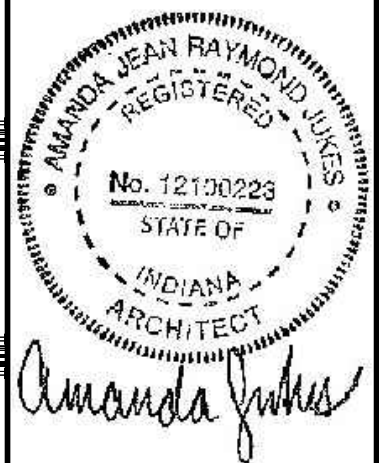
5 TEEN & OFFICE FURNITURE PLAN
SCALE: 3/16" = 1'-0"

- CONSTRUCTION NOTES:**
- OFFICE LOCKERS ARE TO BE RELOCATED FROM GYM STAFF ROOM & PAINTED PER FINISH SCHEDULE
 - BACKPACK STORAGE: G.C. TO INSTALL DOUBLE ROW OF HOOKS ON NORTH AND SOUTH WALLS. CENTER STORAGE UNITS INCLUDED IN FURNITURE PACKAGE.
 - ACOUSTIC FELT TILES ARE TO BE INSTALLED BY G.C. SEE FINISH SCHEDULE FOR TYPE/STYLE/COLORS.
 - MURAL WALLS TO BE PAINTED WITH BASE COLOR BY G.C. MURAL ARTWORK TO BE COMPLETED BY OWNER.



6 BACKPACK STORAGE INT. ELEVATION
SCALE: 1/2" = 1'-0"

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NO.	DATE
1	4/10/24



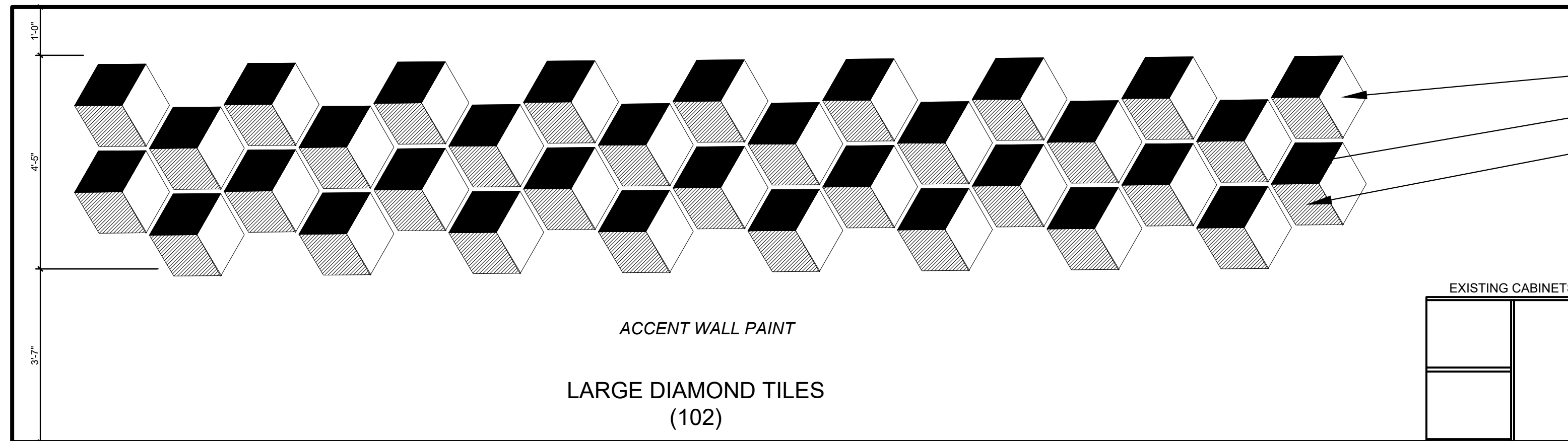
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PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

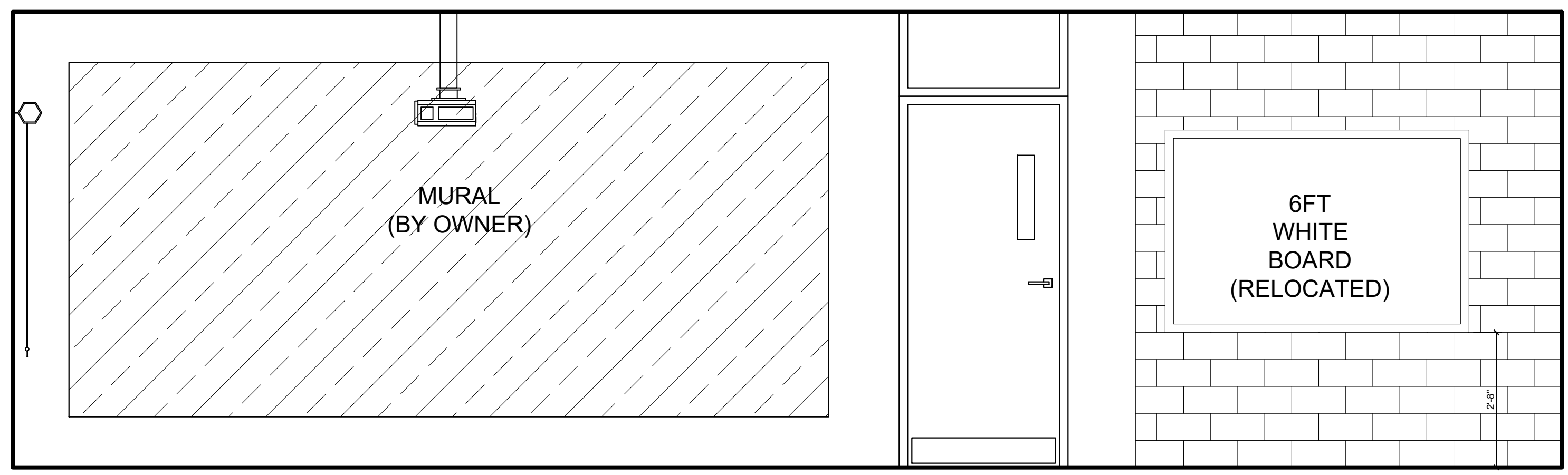
JOB NUMBER
2303
DATE
03/25/2024
SCALE
1/2" = 1'-0"
SHEET TITLE
TEEN ROOM & OFFICE INTERIORS

SHEET NUMBER
A-7.3

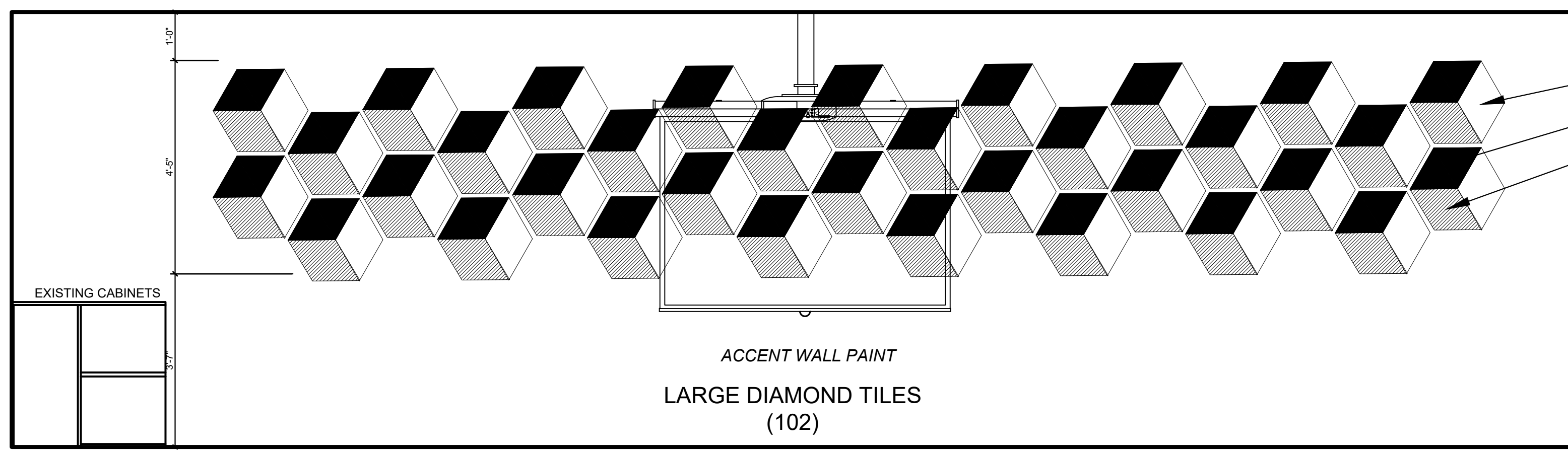


ZINC (DIAMOND)
EBONY (DIAMOND)
CAST (DIAMOND)

1 SMART WEST INT. ELEVATION
SCALE: 1/2" = 1'-0"

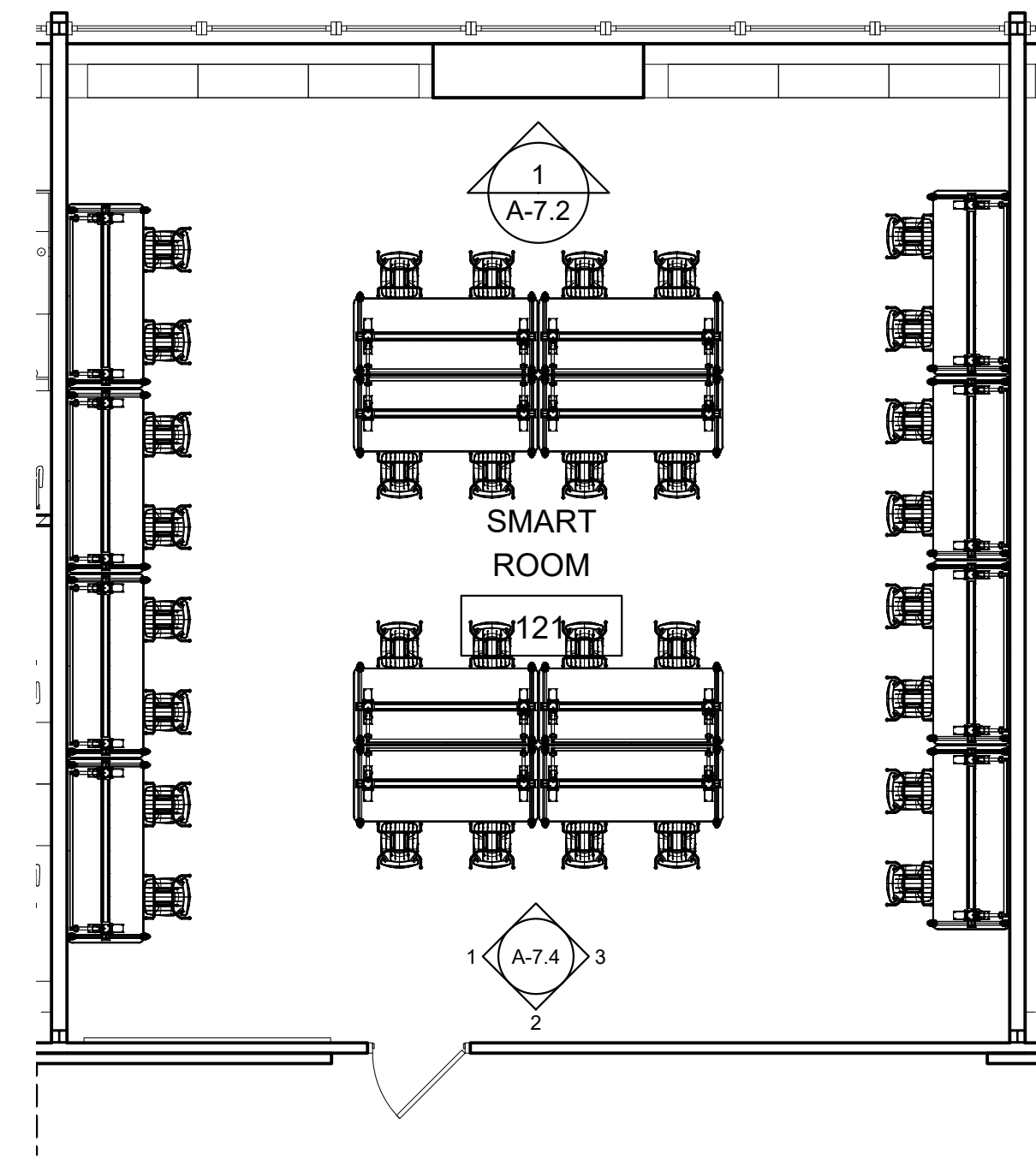


2 SMART SOUTH INT. ELEVATION
SCALE: 1/2" = 1'-0"



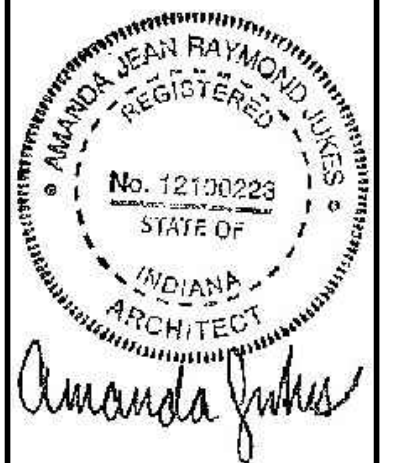
ZINC (DIAMOND)
EBONY (DIAMOND)
CAST (DIAMOND)

3 SMART EAST INT. ELEVATION
SCALE: 1/2" = 1'-0"



4 SMART ROOM FURNITURE PLAN
SCALE: 3/16" = 1'-0"

REVISIONS	
NO.	DATE
1	4/10/24



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PROJECT
**TERRE HAUTE BOYS & GIRLS
CLUB RENOVATION
55 SOUTH BROWN AVENUE**

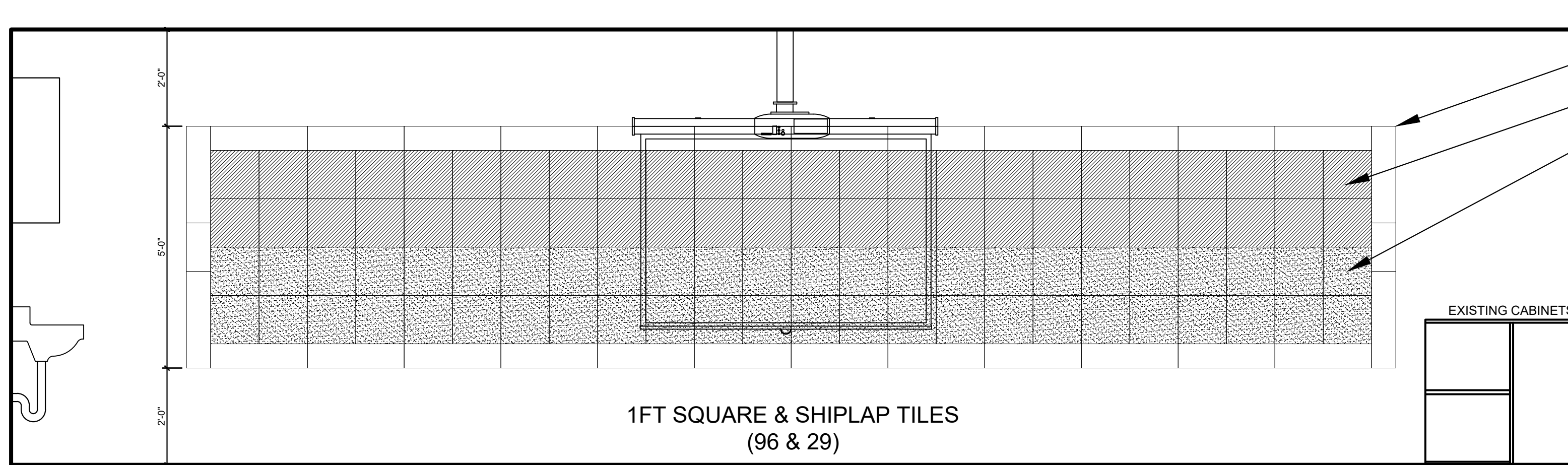
JOB NUMBER
2303

DATE
03/25/2024

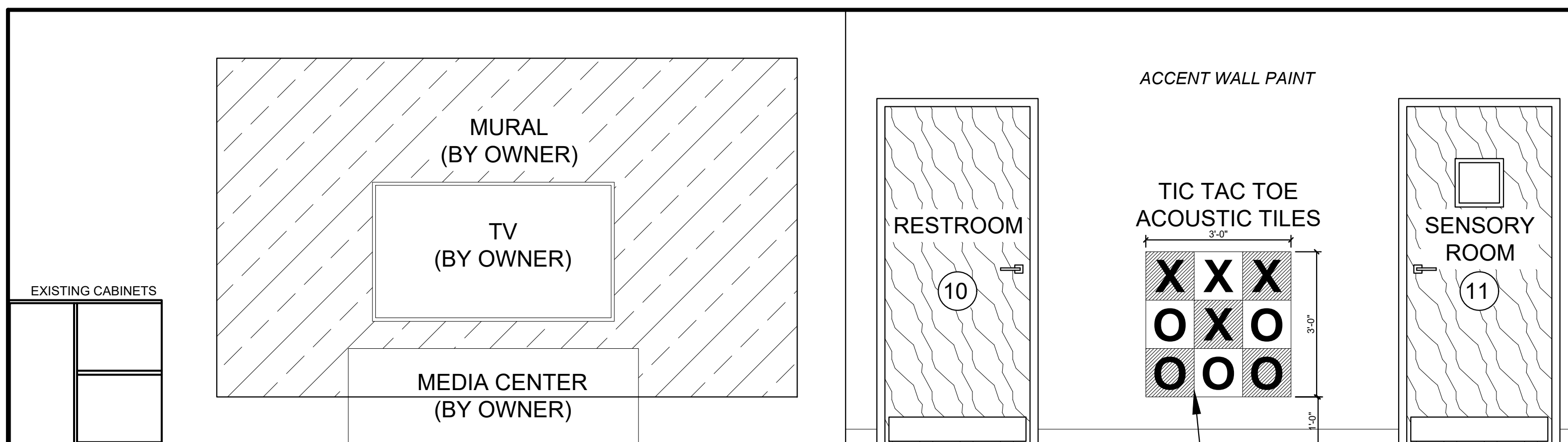
SCALE
1/2" = 1'-0"

SHEET TITLE
SMART ROOM INTERIORS

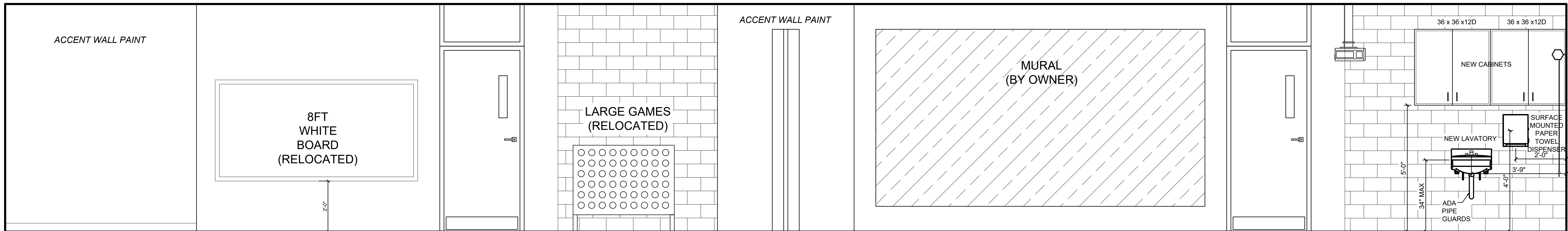
SHEET NUMBER
A-7.4



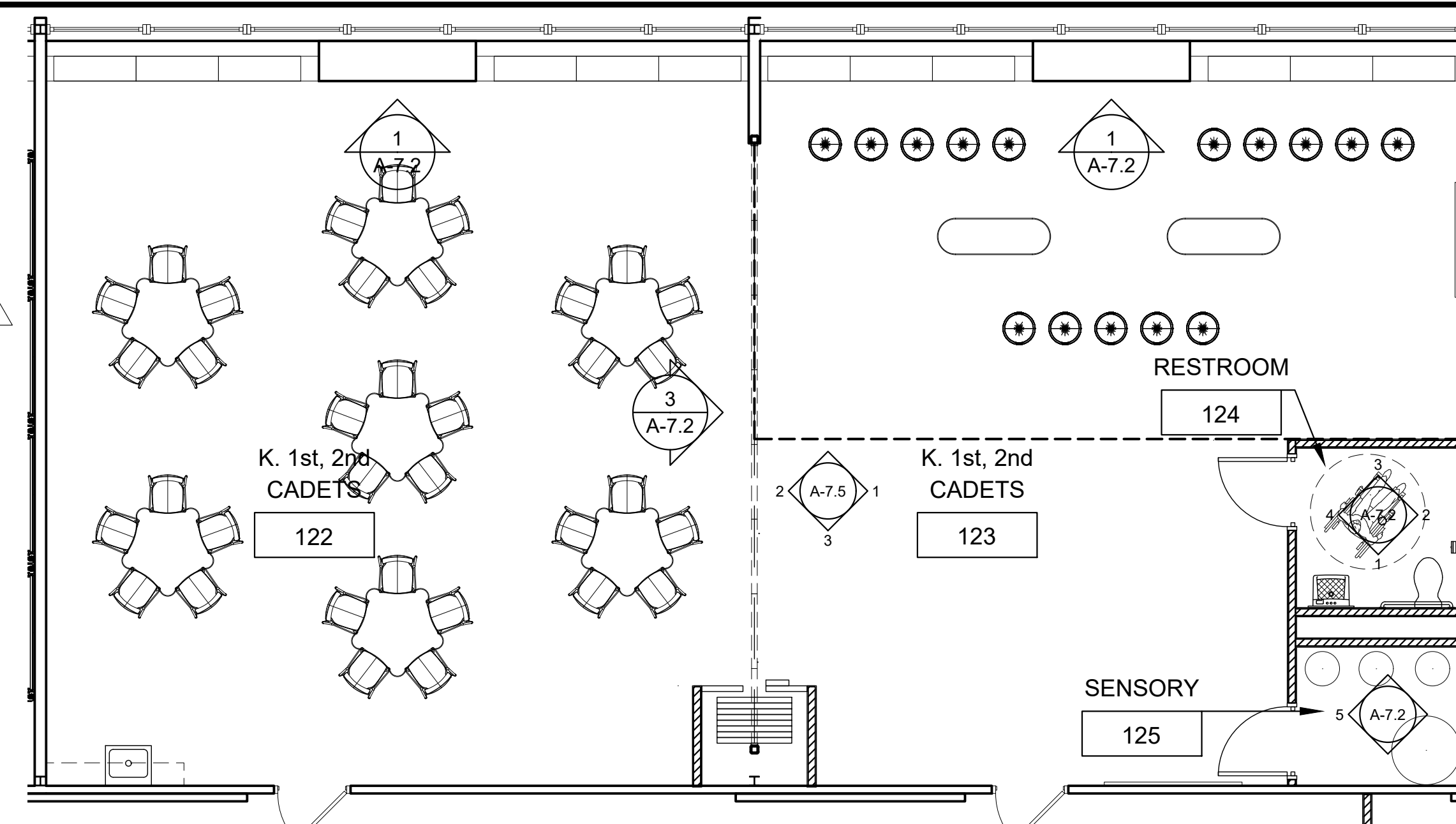
1 CADETS WEST INT. ELEVATION
A-7.5 SCALE: 1/2" = 1'-0"



2 CADETS EAST INT. ELEVATION
A-7.5 SCALE: 1/2" = 1'-0"

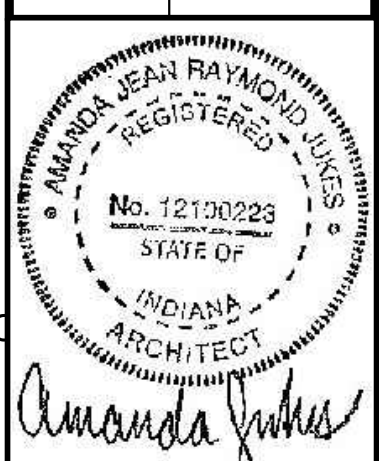


3 CADETS SOUTH INT. ELEVATION
A-7.5 SCALE: 1/2" = 1'-0"



4 CADETS ROOM FURNITURE PLAN
A-7.5 SCALE: 3/16" = 1'-0"

REVISIONS	
NO.	DATE
1	4/10/24



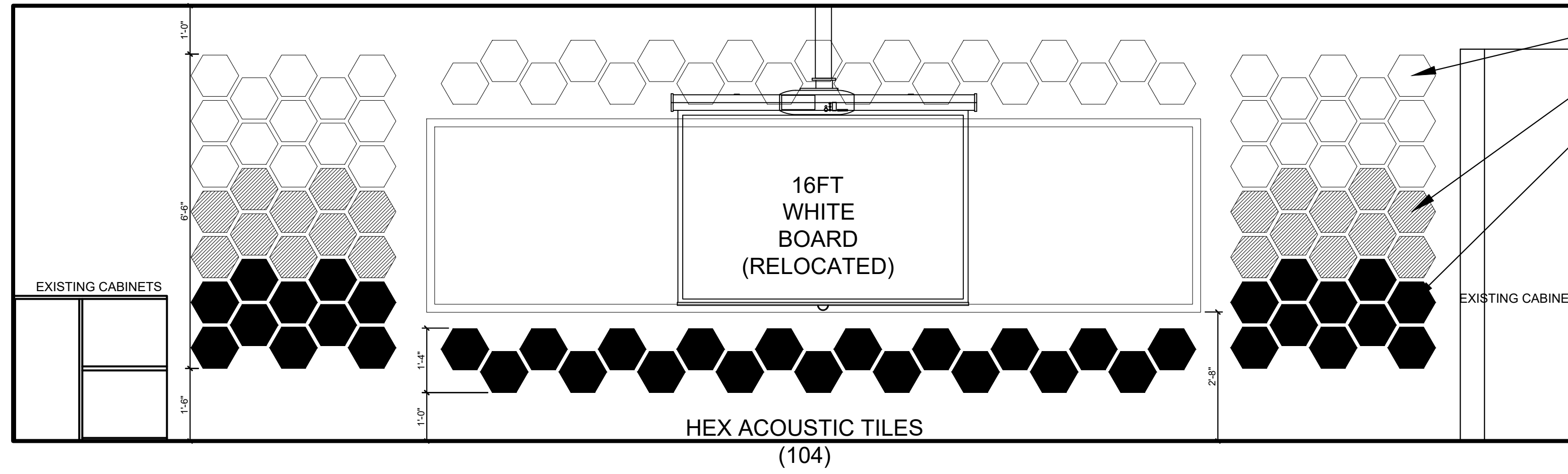
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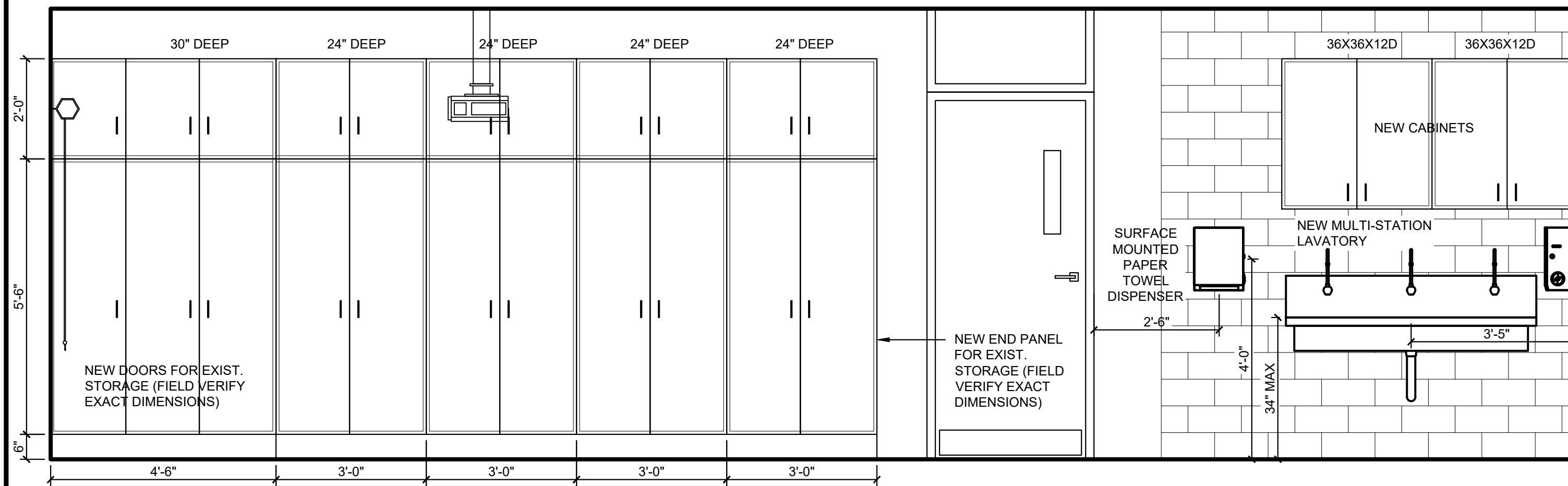
PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

JOB NUMBER
2303
DATE
03/25/2024
SCALE
1/2" = 1'-0"
SHEET TITLE
CADETS ROOM INTERIORS

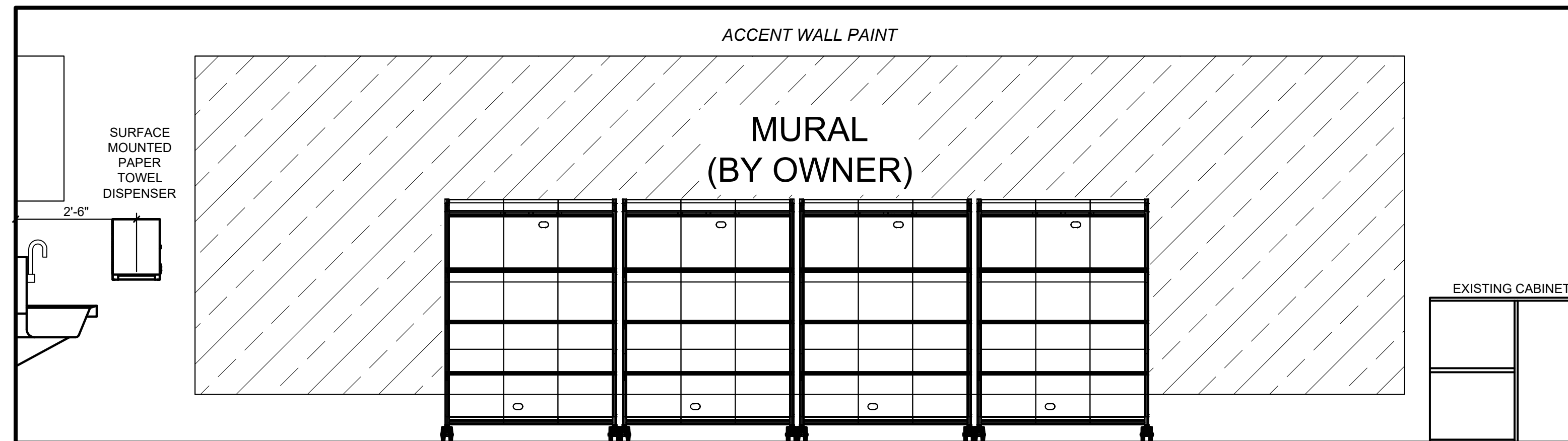
SHEET NUMBER
A-7.5



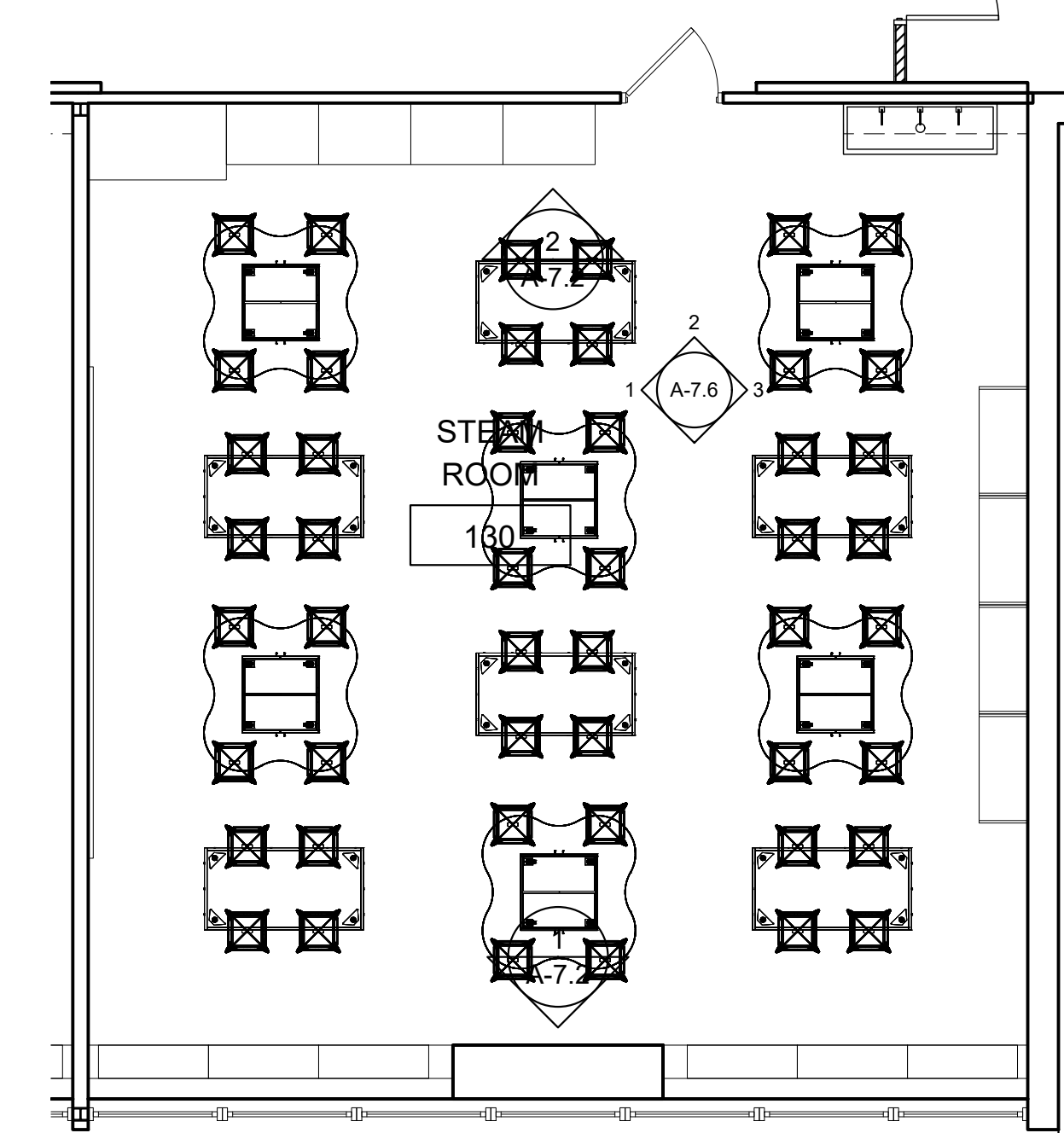
1 STEAM WEST INT. ELEVATION
SCALE: 1/2" = 1'-0"



2 STEAM NORTH INT. ELEVATION
SCALE: 1/2" = 1'-0"

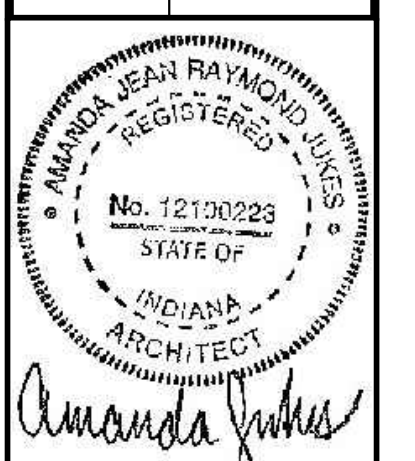


3 STEAM EAST INT. ELEVATION
SCALE: 1/2" = 1'-0"



4 STEAM ROOM FURNITURE PLAN
SCALE: 3/16" = 1'-0"

REVISIONS	
NO.	DATE
1	4/10/24



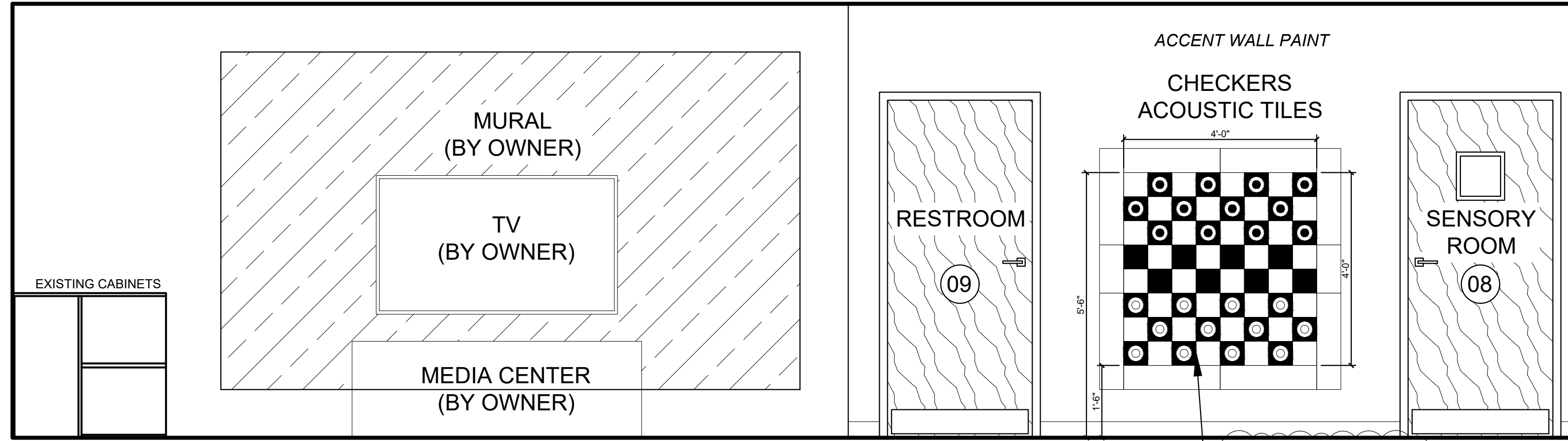
CERTIFIED BY
A. JUKES
DRAWN BY
AJ / DC
CHECKED BY
DS / AJ

Sanders and Associates, Inc.
400 SOUTH 7TH STREET, TERRE HAUTE, INDIANA 47607 PHONE (812) 232-5556

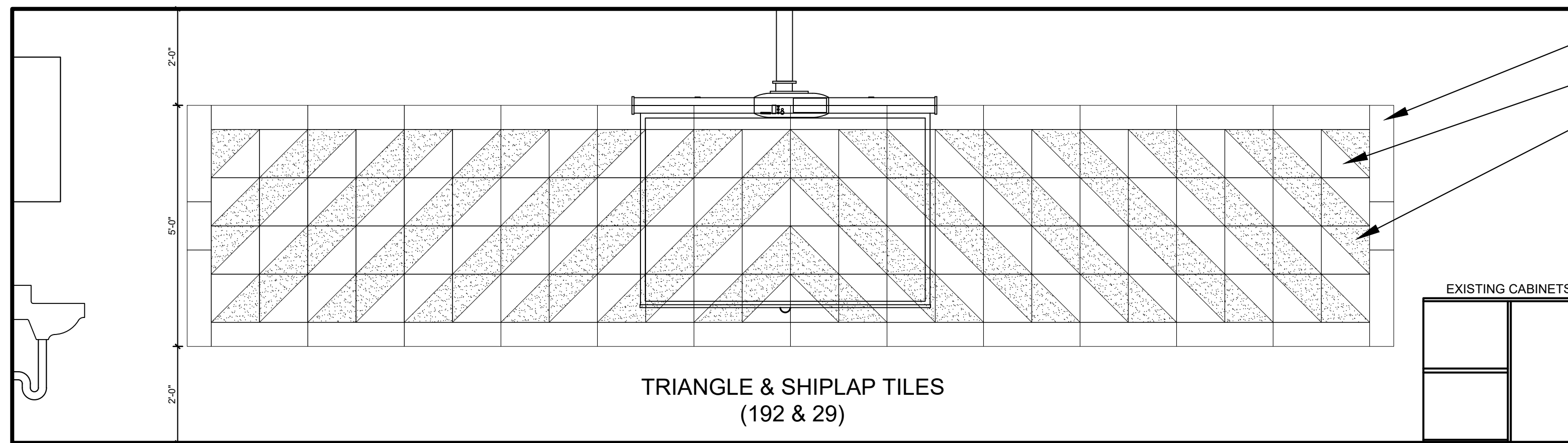
PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

JOB NUMBER
2303
DATE
03/25/2024
SCALE
1/2" = 1'-0"
SHEET TITLE
STEAM ROOM INTERIORS

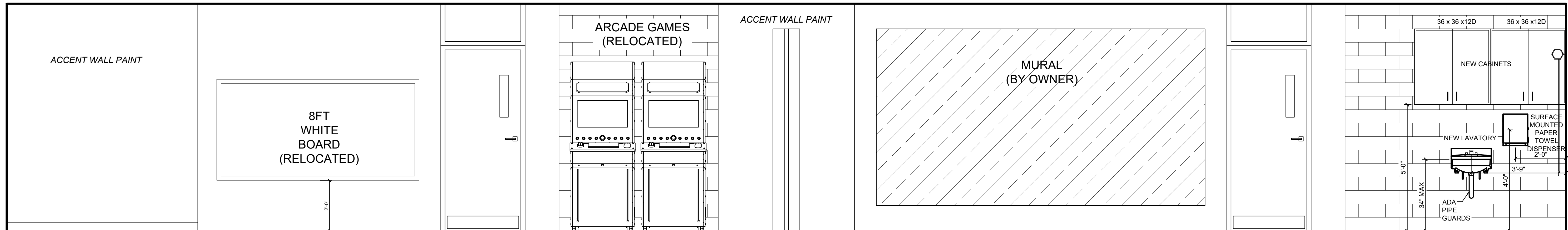
SHEET NUMBER
A-7.6



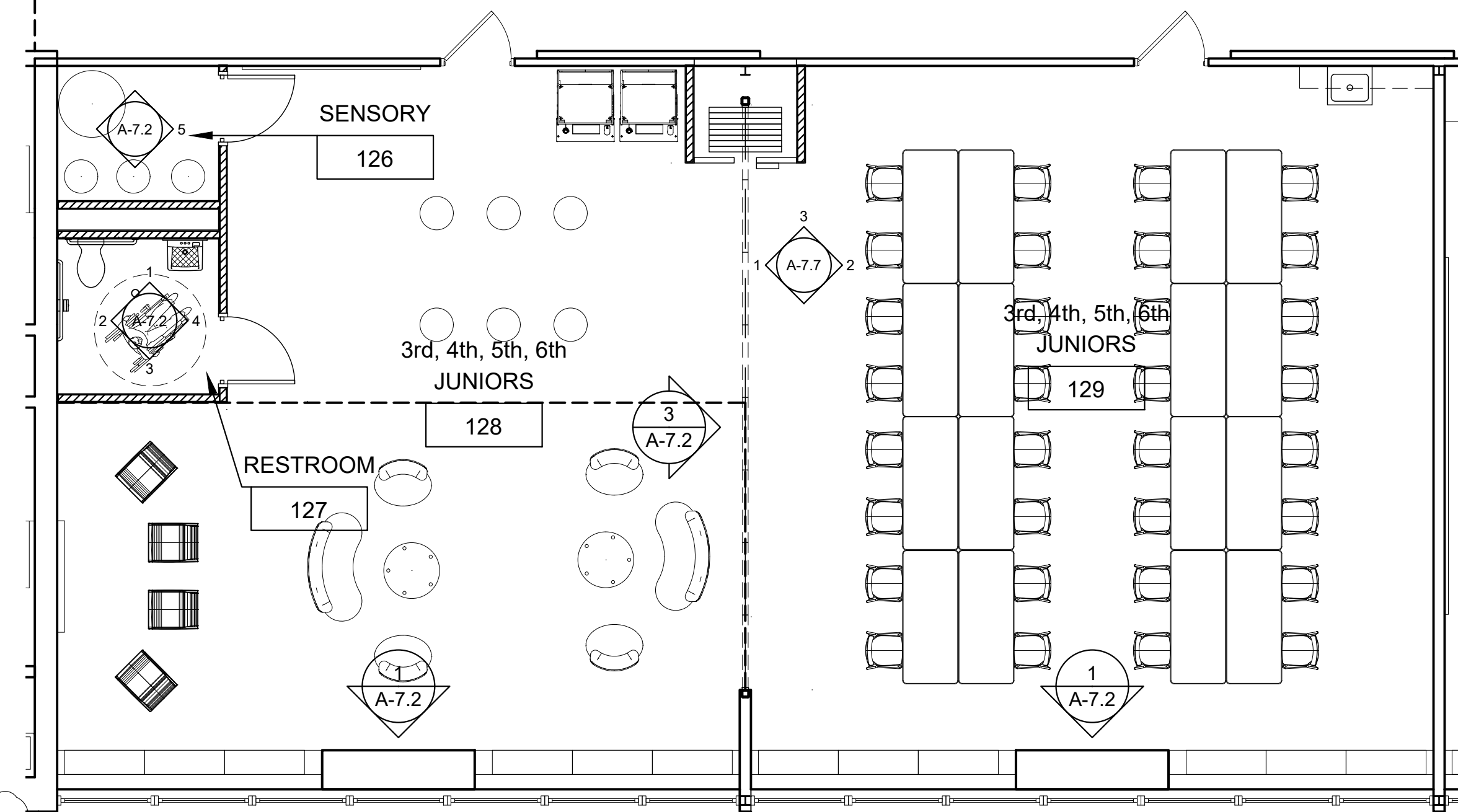
1 JUNIORS WEST INT. ELEVATION
A-7.7 SCALE: 1/2" = 1'-0"



2 JUNIORS EAST INT. ELEVATION
A-7.7 SCALE: 1/2" = 1'-0"

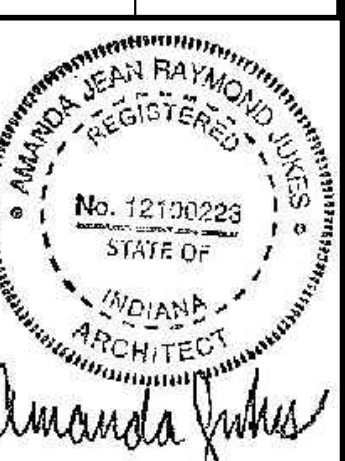


3 JUNIORS NORTH INT. ELEVATION
A-7.7 SCALE: 1/2" = 1'-0"



4 JUNIORS ROOM FURNITURE PLAN
A-7.7 SCALE: 3/16" = 1'-0"

REVISIONS	
NO.	DATE
1	4/10/24



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PROJECT
TERRE HAUTE BOYS & GIRLS CLUB RENOVATION
55 SOUTH BROWN AVENUE

JOB NUMBER
2303
DATE
03/25/2024
SCALE
1/2" = 1'-0"
SHEET TITLE
JUNIORS ROOM INTERIORS

SHEET NUMBER
A-7.7